



Corporate Report

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Files

BL.03-SIG (2011)

PDC SEP 04 2012

DATE: August 14, 2012

TO: Chair and Members of Planning and Development Committee
Meeting Date: September 4, 2012

FROM: Edward R. Sajecki
Commissioner of Planning and Building

SUBJECT: **Sign By-law 0054-2002, as amended**
Sign Variance Applications

RECOMMENDATION: That the report dated August 14, 2012 from the Commissioner of Planning and Building regarding Sign By-law 0054-2002, as amended, and the requested eleven (11) Sign Variance Applications described in Appendix 1-11 of the Report, be adopted in accordance with the following:

1. That the following Sign Variances **be granted**:

- (a) Sign Variance Application 12-00665
Ward 1
Port Credit Residences
33 Hurontario Street

To permit the following:

- (i) Two (2) fascia signs on a residential building located in a residential zone.

- (b) Sign Variance Application 12-00523
Ward 3
Walmart
1500 Dundas St. E.

To permit the following:

- (i) One (1) fascia sign on the side elevation that does not face a parking lot or driveway located on the property.

- (c) Sign Variance Application 12-00702
Ward 4
Whole Foods Market
155 Square One Drive

To permit the following:

- (i) One (1) roof sign erected on the roof of a canopy.

- (d) Sign Variance Application 12-00676
Ward 5
MNP
75 Courtneypark Drive West

To permit the following:

- (i) One (1) roof sign erected on the roof of an entrance canopy to the building.

- (e) Sign Variance Application 12-00578
Ward 5
Royal Bank of Canada
6205 Airport Rd.

To permit the following:

- (i) One (1) fascia sign located on the structure enclosing the mechanical equipment

on the roof and has a sign area equal to 3% of the building face on which it is located.

- (f) Sign Variance Application 12-00850
Ward 5
Nu Hotel
6465 Airport Rd.

To permit the following:

- (i) Two (2) fascia signs on the second storey of the building.
- (ii) One (1) fascia sign that is not affixed to a building façade, as defined in the Sign By-law.

- (g) Sign Variance Application 12-00550
Ward 5
International Centre
6900 Airport Road

To permit the following:

- (i) Eight (8) ground signs internal to the property with changing copy message boards and an overall height of 6.65m (21.82 ft).
- (ii) Two (2) ground signs fronting Airport Rd., each with a sign area of 27.18 sq. m (292.56 sq. ft) and a height of 8.92m (29.27 ft). The north sign is also encroaching onto the road allowance and subject to Region of Peel approval.
- (iii) Two (2) ground sign each with a changing copy area of 73% of the sign area.
- (iv) One (1) ground sign fronting Airport Rd., located 1.22m (4.0 ft) from a driveway entrance or exit.

- (h) Sign Variance Application 12-01217
Ward 6
Toronto International Academy
1140 Burnhamthorpe Road West

To permit the following:

- (i) One (1) fascia sign not to be located on an exterior wall occupied by the business.
- (ii) One (1) fascia sign to be located on the second storey of a building.

- (i) Sign Variance Application 12-01014
Ward 9
GoodLife Fitness
6875 Meadowvale Town Centre Circle

To permit the following:

- (i) Three (3) fascia signs to be erected on the second storey of the building.

- (j) Sign Variance Application 12-06951
Ward 10
Daniels First Home Long Valley
3075 Thomas Street

To permit the following:

- (i) One (1) construction site sign with a setback of 0.81m (2.66 ft) from a property line.

2. That the following Sign Variances **not be granted**:

- (a) Sign Variance Application 12-00327
Ward 4
583167 Ontario Inc.
4310 Sherwoodtowne Blvd.

To permit the following:

- (i) One (1) ground sign for an office building with a sign area of 22.6m² (237.51 ft²).

- (ii) One (1) ground sign with a commercial undertaking with a maximum height of 9.5m (31.1 ft).
- (iii) One (1) ground sign with a changing copy area of 56% of the sign area.

This property is in a prominent location of the Downtown and the Hurontario LRT main street project. The sign is not in keeping with the design goals for this area.

BACKGROUND:

The *Municipal Act* states that Council may, upon the application of any person, authorize minor variances from the Sign By-law if in the opinion of the Council the general intent and purpose of the By-law is maintained.

COMMENTS:

The Planning and Building Department has received eleven (11) Sign Variance Applications (see Appendices 1 to 11) for approval by Council. The applications are each accompanied by a summary page prepared by the Planning and Building Department which includes information pertaining to the site location; the applicant's proposal; the variance required; an assessment of the merits (or otherwise) of the application; and a recommendation on whether the variance should or should not be granted.

FINANCIAL IMPACT: Not applicable.

CONCLUSION:

Council may authorize minor variances from Sign By-law 0054-2002, as amended, if in the opinion of Council, the general intent and purpose of the By-law is maintained. Sign By-law 0054-2002, as amended, was passed pursuant to the *Municipal Act*. In this respect, there is no process to appeal the decision of Council to the Ontario Municipal Board, as in a development application under the *Planning Act*.

| | | |
|---------------------|--------------|---------------------------------------------------------|
| ATTACHMENTS: | APPENDIX 1: | Port Credit Residences Appendix 1-1 to 1-8 |
| | APPENDIX 2: | Walmart Appendix 2-1 to 2-9 |
| | APPENDIX 3: | Whole Food Market Appendix 3-1 to 3-7 |
| | APPENDIX 4: | MNP Appendix 4-1 to 4-7 |
| | APPENDIX 5: | Royal Bank of Canada Appendix 5-1 to 5-6 |
| | APPENDIX 6: | Nu Hotel Appendix 6-1 to 6-6 |
| | APPENDIX 7: | International Centre Appendix 7-1 to 7-16 |
| | APPENDIX 8: | Toronto International Academy Appendix 8-1 to 8-5 |
| | APPENDIX 9: | GoodLife Fitness Appendix 9-1 to 9-7 |
| | APPENDIX 10: | Daniels First Home Long Valley Appendix 10-1 to 10-6 |
| | APPENDIX 11: | 583167 Ontario Inc. Appendix 11-1 to 11-10 |

Edward R. Sajecki
Commissioner of Planning and Building

Prepared By: Darren Bryan, Supervisor, Sign Unit



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

August 14, 2012

FILE: 12-00665

RE: Port Credit Residences
33 Hurontario Street – Ward 1

The applicant requests the following variance to Section 12 of the Sign By-law 0054-2002, as amended.

| Section 12 | Proposed |
|----------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|
| Fascia signs are not permitted on residential buildings located in a residential zone. | Two (2) fascia signs on a residential building located in a residential zone. |

COMMENTS:

The proposed fascia signs are to be located on the north elevation facing Park Street East and the west elevation facing Hurontario Street. This building operates as a retirement living residence with signage intended to allow visitors of the property to clearly identify the building. The Planning and Building Department finds the design of the fascia signs to be in character with the design of the building, and therefore have no objections.



141 Lakeshore Road East, Top Floor
Mississauga, Ontario L5G 1E8
Tel: (416) 747-9661 • Fax: (416) 747-9899
1-800-916-FRAM (3726)

April 26, 2012

Sign Bylaw Plan Examiner
300 City Centre Drive
Mississauga, ON L5B 3C1

RE: SIGN VARIANCE APPLICATION FOR 33 HURONTARIO STREET

To Whom It May Concern,

The purpose of this letter is to provide rationale for a sign variance that is being requested for 33 Hurontario Street. Proper and effective signage for Diversicare (the owner/operator of the building) is crucial to the success of their business, as it creates brand awareness.

The sign bylaw indicates that a fascia sign is permitted for businesses and hotels, but not for apartments. The rationale for allowing a fascia sign on this building is that the building use should be viewed as a business/hotel, rather than an apartment building.

This building is owned by Diversicare, who operates a retirement living residence. Its operations are very similar to a hotel (i.e. units do **not** have full kitchens, and linens are changed by staff) and very different than an apartment. Within the building are dining, pool, gym, hair salon and meeting facilities, and private events can be held at this building. The proposed locations of the signs, therefore, allow for all visitors of the property to clearly identify the building.

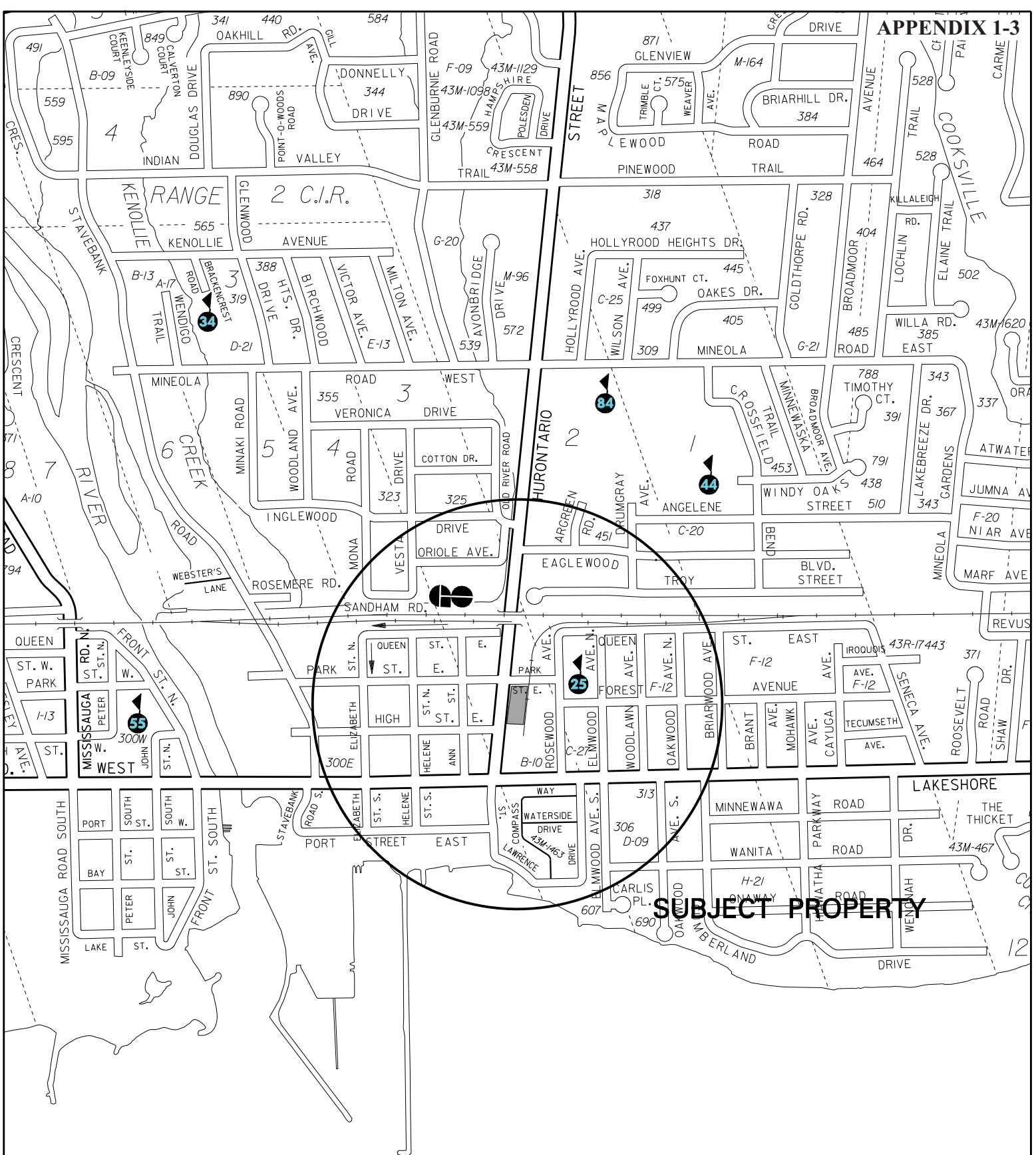
We are therefore seeking relief from the sign bylaw to permit fascia signs on the north and west elevations of the building, as per the enclosed plans.

If you should have any further questions or would like to discuss, please do not hesitate to contact me anytime.

Thank you,

A handwritten signature in black ink, appearing to read 'Christina Giannone', with a long horizontal flourish extending to the right.

Christina Giannone
Project Coordinator
Tel: (416) 747-9661 ext. 237
Cel: (416) 771-2538
E: cgiannone@framgroup.com



MISSISSAUGA
Leading today for tomorrow



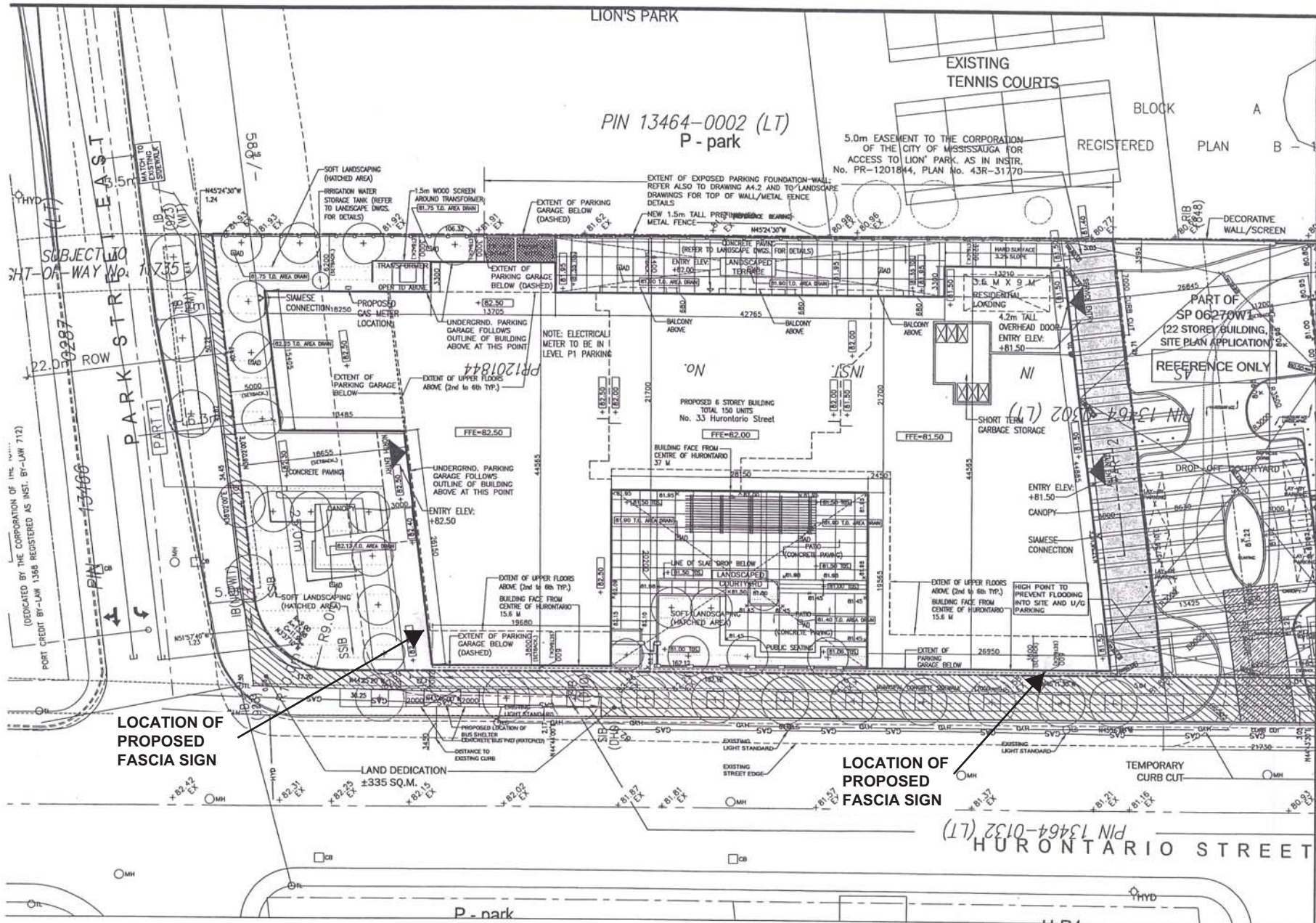
Planning & Building, Sign Unit

**33 Hurontario Street
12-00665
Port Credit Residences**

SCALE FOR REDUCED DRAWINGS

0m 50m 100m 200m 300m 400m 500m 1000m

N T A R



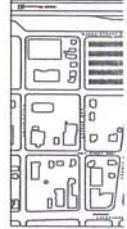
| LEGEND | |
|----------------------------------|--------|
| LOW POINT | 125.74 |
| HIGH POINT | 125.74 |
| TOP OF WALL | 125.74 |
| BOTTOM OF WALL | 125.74 |
| AREA DRAIN | 125.74 |
| MAIN BUILDING ENTRANCE | 125.74 |
| SECONDARY BUILDING ENTRANCE/DOOR | 125.74 |
| APPROXIMATE EXTENT OF NEW SOO | 125.74 |
| EXISTING SPOT ELEVATION | 125.74 |
| NEW SPOT ELEVATION | 125.74 |
| LANDSCAPE PLANTER | 125.74 |
| EXISTING FINE MESH | 125.74 |
| FINE TRUCK ACCESS ROUTE | 125.74 |

NOTE:
WHERE PLANTING IS TO BE LOCATED IN LANDSCAPE AREAS ON TOP OF THE STRUCTURE, IT IS THE RESPONSIBILITY OF THE APPLICANT TO ARRANGE THE CO-ORDINATION OF THE DESIGN OF THE LANDSCAPING WITH THE LANDSCAPE ARCHITECT AND THE CONSULTING ENGINEER. UNDERGROUND PARKING STRUCTURES WITH LANDSCAPING ARE TO BE CAPABLE OF SUPPORTING THE FOLLOWING LOADS:
15 mm (6.0 in.) OF DRAINAGE GRATEL PLUS 40 mm (1.6 in.) TOPSOIL FOR 500
15 mm (6.0 in.) OF DRAINAGE GRATEL PLUS 40 mm (1.6 in.) TOPSOIL FOR 500
15 mm (6.0 in.) OF DRAINAGE GRATEL PLUS 40 mm (1.6 in.) TOPSOIL FOR 500

NOTE:
THIS SITE PLAN IS TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS PREPARED BY COUNTERPOINT ENGINEERING:
- SITE SERVING PLAN (SW-5)
- GRADING PLAN (SW-6)
REFER TO SITE SERVICES/GRADING DRAWINGS FOR GRADING INFORMATION AND LOCATION OF AREA DRAINS

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RALPH GARRAGE



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- 2. ISSUED FOR COORDINATION
- 3. REVISED FOR SPA
- 4. ISSUED FOR PERMIT
- 5. REVISED FOR SPA
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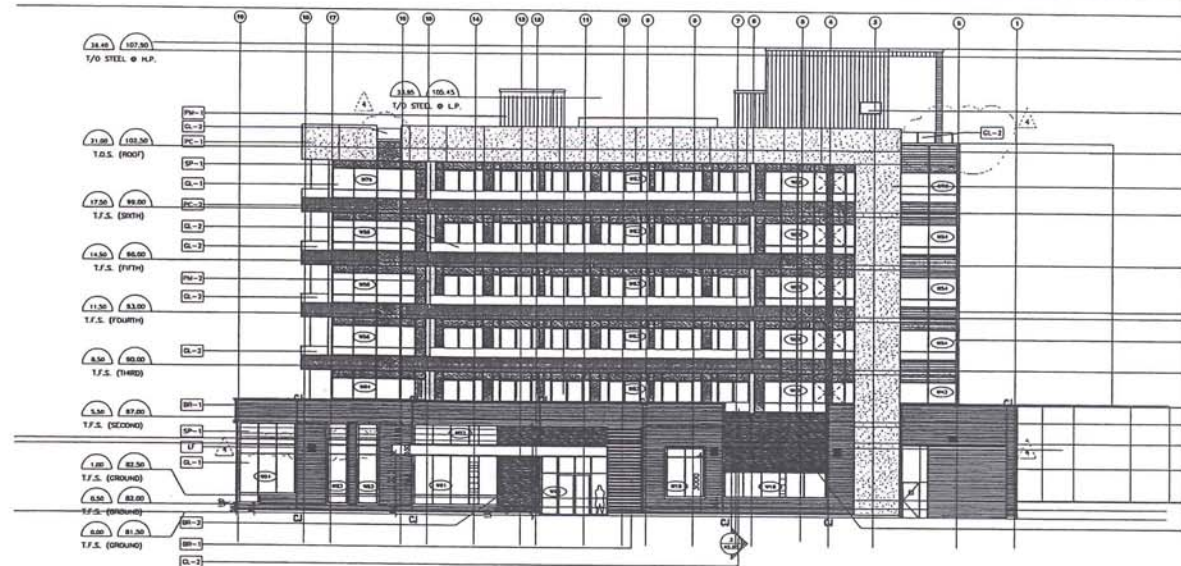
Glennone Petrico

Glennone Petrico Associates Inc., A
100 Wellington St. W. Suite 100, Toronto, Ontario, M5H 1B5
Telephone: (416) 593-7700 Fax: (416) 593-7701

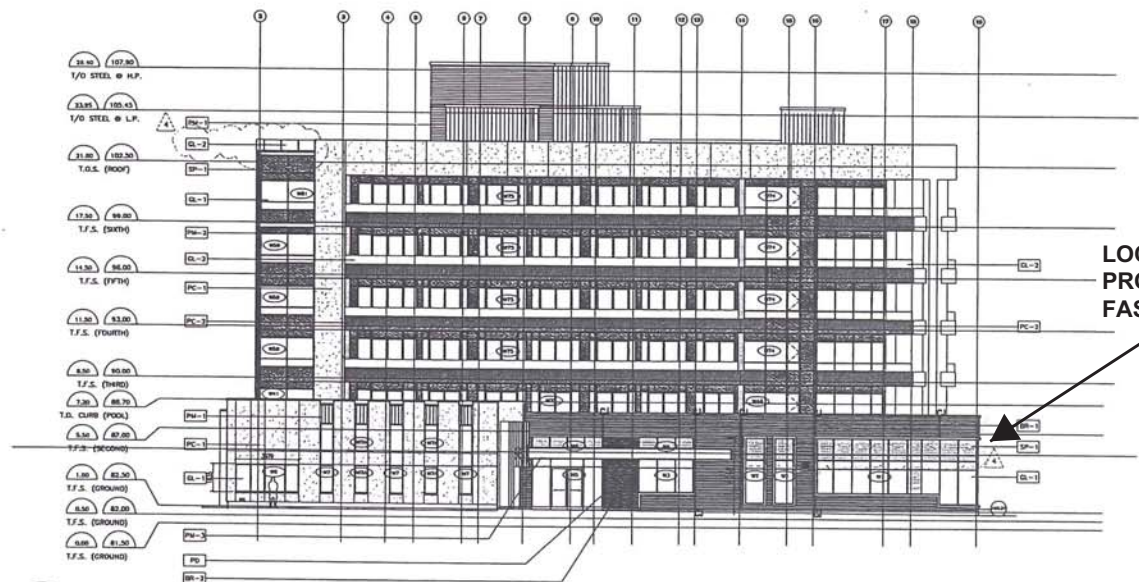
NORTH OF L
SENIORS RE
33 Hurontario Street, M5H

SITE PLAN - NI

Project No.:
Scale:
Date:
Drawn by:
Checked by:

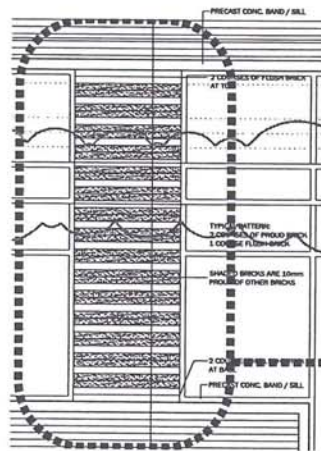


1 SOUTH ELEVATION
A3.01 1:150



1 NORTH ELEVATION
A3.01 1:150

LOCATION OF
PROPOSED
FASCIA SIGN



3 DETAIL OF BRICK PATTERN
A3.01 1:25

MATERIAL LEGEND

| MATERIAL | SPECIFICATIONS | MATERIAL | SPECIFICATIONS |
|----------|----------------------------|----------|----------------------------------|
| BR-1 | BROWN BRICK (NORMAN) | AL-2 | PRE-FIN. ALUM. LOUVERS DARK GRAY |
| BR-2 | BLACK BRICK (NORMAN) | CJ | CONTROL JOINT SEE DETAIL A02.35 |
| PC-1 | PRECAST (LIGHT SAND BLAST) | LF | LIGHT FIXTURE - |
| PC-2 | PRECAST (HEAVY SAND BLAST) | PD | POWER DOOR OPERATOR - |
| GL-1 | INSULATED WINDOW UNIT | | |
| GL-2 | GLASS TINTED GLASS | | |
| GL-3 | PRIMEHEAD TEMPLER GLASS | | |
| SP-1 | SPANDREL PANEL DL | | |
| PM-1 | PREFIN. METAL SIDING | | |
| PM-2 | WINDOW MULLIONS | | |
| PM-3 | PREFIN. METAL | | |
| AL-1 | PRE-FIN. ALUM. DOOR | | |

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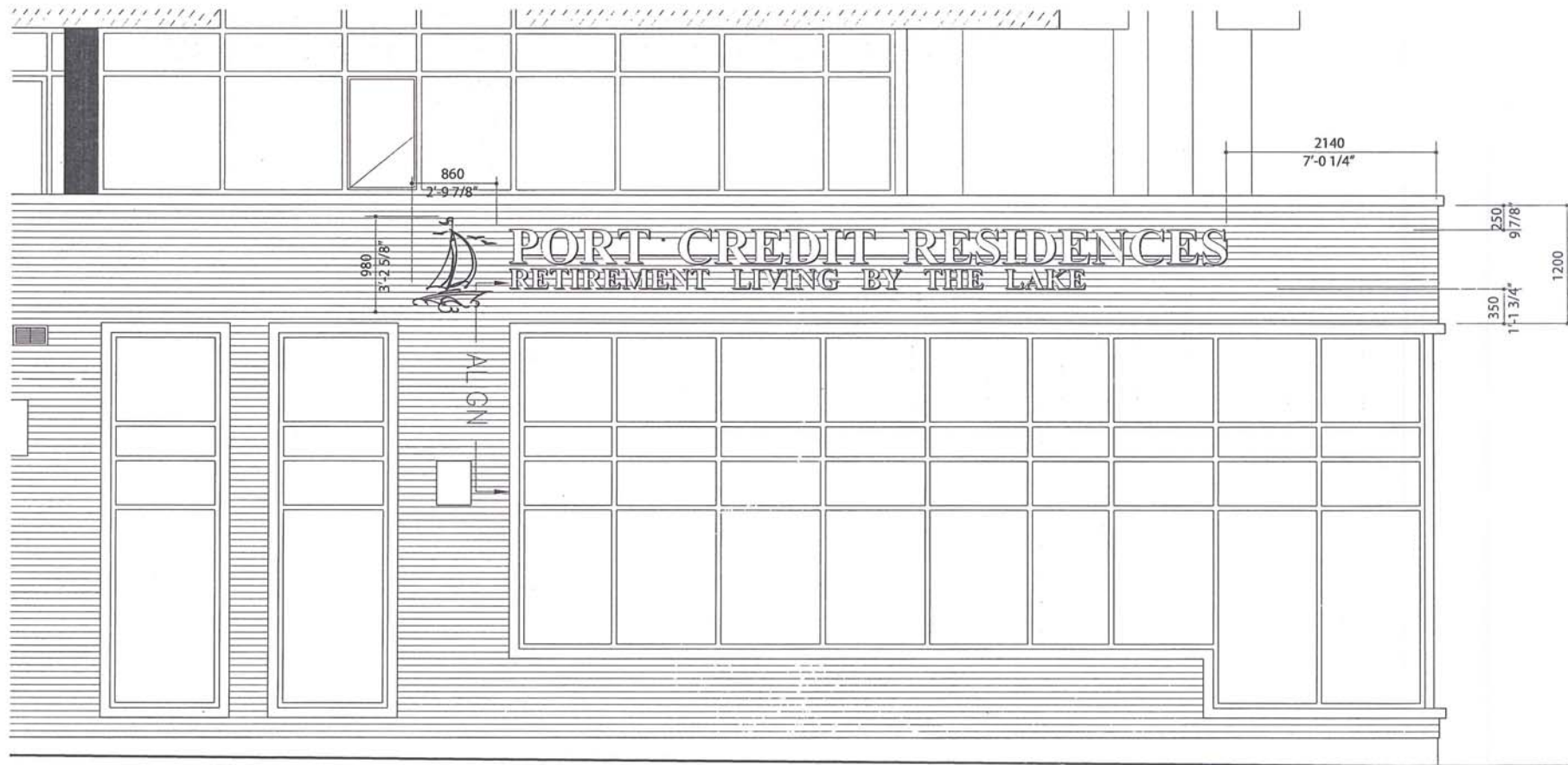
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SENIORS
33 Hurontario Str

BUILT APPENDIX 1-5

Project No.
Scale:
Date:
Drawn by:
Checked by:

NON-ILLUMINATED LOGO
(see CK-PORTCRED-FEB152012-PERMIT-D for details)

ILLUMINATED & NON-ILLUMINATED LETTERS
(see CK-PORTCRED-FEB152012-PERMIT-C for details)



Elevation A

Scale: 1/4"=1'-0"

(see CK-PORTCRED-FEB152012-PERMIT-E-1 for details)

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4444 Eastgate Parkway
Mississauga, Ontario L4W 4T6
Phone: 905-214-0008
Fax: 1-866-283-7025
E-mail: info@signproduction.ca
1-800-231-3371

DATE: February 16, 2012

REV:

SCALE: as noted

CLIENT: Port Credit Residences

LOCATION: 33 Hurontario Street, Mississauga, Ontario

ITEM: Channel Letters and Logo

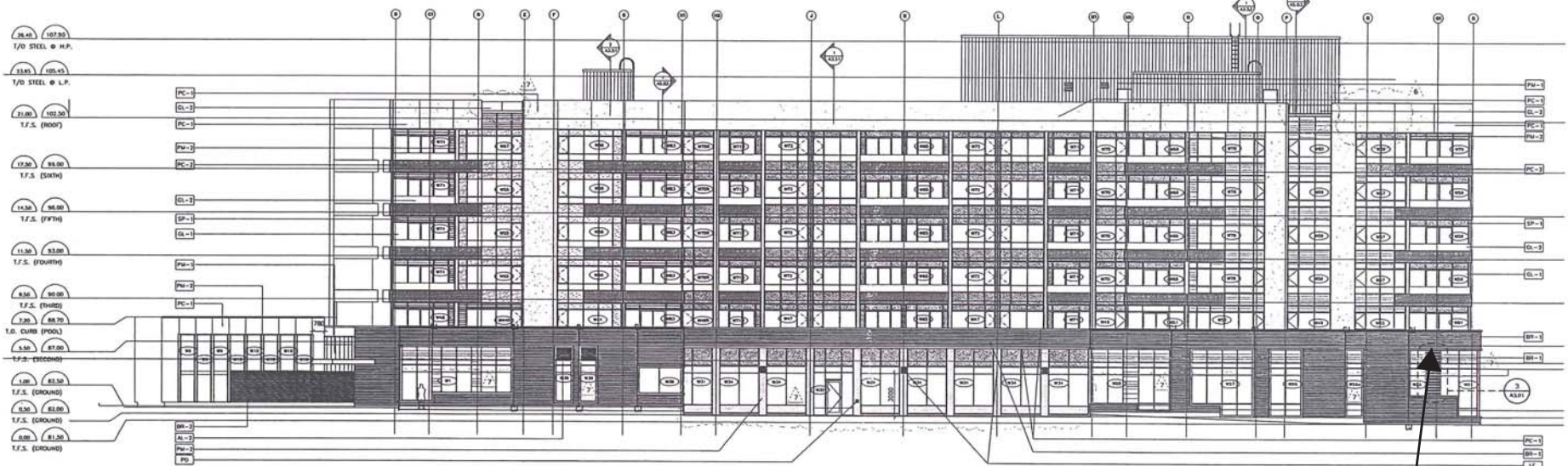
PART N

CK-PO

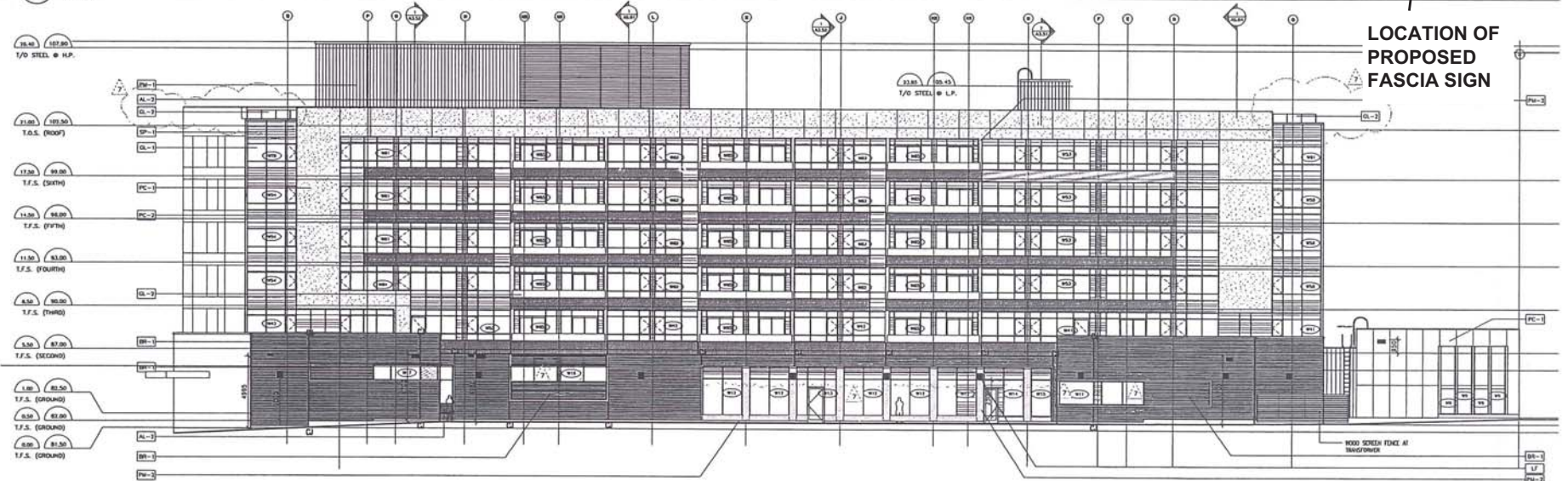
SHEET

1 of

APPENDIX 1-6



1 WEST ELEVATION
A3.02 1:150



2 EAST ELEVATION
A3.02 1:150

LOCATION OF
PROPOSED
FASCIA SIGN

| MATERIAL LEGEND | | | |
|------------------------------------|----------------------------------------------------------------------|--------------------------------|-------------------|
| MATERIAL | SPECIFICATIONS | MATERIAL | SPECIFICATIONS |
| BR-1 BROWN BRICK (NORMAN) | INTERSTATE COMMERCIAL BRICK - 2-1/4" NORMAN COLOUR - WALNUT | AL-2 PRE-FIN. ALUM. LOUVERS | DARK GRAY |
| BR-2 BLACK BRICK (NORMAN) | INTERSTATE COMMERCIAL BRICK - 2-1/4" NORMAN COLOUR - MONROE BLACK | CJ CONTROL JOINT | SEE DETAIL A02.35 |
| PC-1 PRECAST (LIGHT SAND BLAST) | WHITE - P.C.I. FINISH #183 (REFER TO SPECS) | LF LIGHT FIXTURE | - |
| PC-2 PRECAST (HEAVY SAND BLAST) | GRAY - P.C.I. FINISH #182 (REFER TO SPECS) | PD POWER DOOR OPERATOR | - |
| GL-1 INSULATED WINDOW UNIT | LOW-E | | |
| GL-2 GUARD TINTED GLASS | CLEAR | | |
| GL-3 PINHEAD TINTED GLASS | PINHEAD GLASS PRIVACY SCREEN | | |
| SP-1 SPANDREL PANEL DEK | THERMA-SPAN (COLOUR T.B.D.) | | |
| PU-1 PREFIN. METAL SIDING | DARK GRAY | | |
| PU-2 WINDOW MULLIONS | DARK GRAY | | |
| PU-3 PREFIN. METAL | DARK GRAY | | |
| AL-1 CANOPY CLADDING | DARK GRAY | | |
| AL-2 PRE-FIN. ALUM. DOOR | DARK GRAY | | |

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16. ISSUED FOR PERMIT
17. ISSUED FOR PERMIT
18. ISSUED FOR PERMIT



Giannone P.Eng.

Giannone Professional Assoc.
403 Redwood St. W. Suite 10
Toronto, ON M5S 1A5

NORTH C
SENIORS
33 Hurontario Str

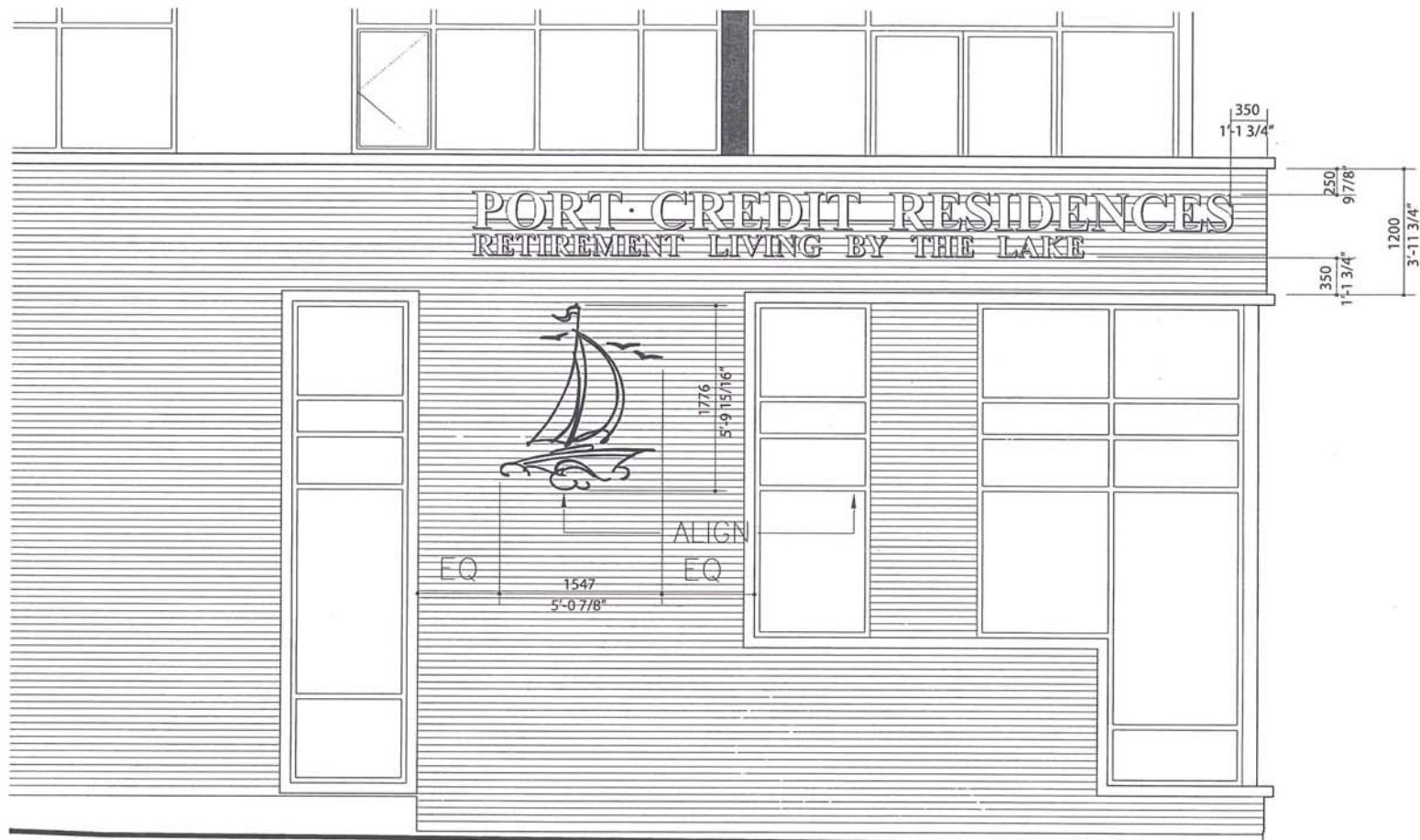
BUILD

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Scale:
Date:
Drawn by:
Checked by:

APPENDIX 1-7

NON-ILLUMINATED LOGO
(see CK-PORTCRED-FEB152012-PERMIT-D for details)

ILLUMINATED & NON-ILLUMINATED LETTERS
(see CK-PORTCRED-FEB152012-PERMIT-C for details)



Elevation B

Scale: 1/4"=1'-0"

(see CK-PORTCRED-FEB152012-PERMIT-E-2 for details)

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Phone: 905-214-0008
Fax: 1-866-283-7025
E-mail: info@signproduction.ca
1-800-231-3371

DATE: February 16, 2012

REV:

SCALE: as noted

CLIENT: Port Credit Residences

LOCATION: 33 Hurontario Street, Mississauga, Ontario

ITEM: Channel Letters and Logo

PART I

CK-PC

SHEET

2 of



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

August 14, 2012

FILE: 12-00523

RE: Walmart
1500 Dundas St. E. – Ward 3

The applicant requests the following variance to Section 13 of the Sign By-law 0054-2002, as amended.

| Section 13 | Proposed |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------|
| A commercial undertaking is permitted to have a fascia sign on the side or rear face of the building if that side faces a parking lot or driveway on the property and is not within 100m of a residential zone. | One (1) fascia sign on the side elevation that does not face a parking lot or a driveway located on the property. |

COMMENTS:

The proposed fascia sign is on the west side of the building which faces onto a parking lot and bus loop for the adjacent Dixie GO station. An access road from the GO property extends into the commercial property. The size of the proposed fascia sign is less than what would be permitted if it faced their own parking lot or driveway. The fascia sign provides identification of the business for those travelling eastbound along the internal road from Dixie Road. The Planning and Building Department therefore finds the variance acceptable from a design perspective.

Permit World inc.

57 William St. W., Waterloo, ON N2L 1J6 519-585-1201 519-208-7008 (fax)

March 1, 2012

City Hall
Planning & Building Department, Sign Unit
300 City Centre Drive
Mississauga, ON
L5B 3C1
Attn: Darren Bryan

Re: Sign variance application for Walmart at 1500 Dundas St. E., Mississauga

Dear Sir:

Please accept this letter as a formal request for a sign variance to allow a wall sign at the above-mentioned location.

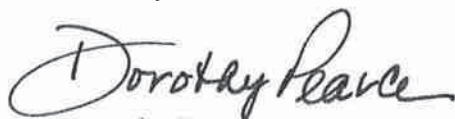
A variance is required as the sign is located on the façade facing a landscaped area and a parking lot which does not belong to the Walmart store.

This is a new Walmart store, built behind a number of existing businesses on Dundas Street East. The western elevation of the store faces directly onto the parking lot of the train station and is not visible from Dundas Street East. The signage has been placed on this side of the building in such a manner as to be viewed directly by the railway traffic and some of the traffic on Dixie Road.

The signage will not alter the character of the area and will not negatively impact the existing conditions as the building is set back from Dundas Street East and will have landscaping lining the area between the parking lot and the store façade.

We are respectfully requesting your support in this matter. If you require additional information or have any questions, feel free to contact the undersigned.

Thank you,



Dorothy Pearce
info@permitworld.ca

1500 DUNDAS EAST HOLDINGS INC.
5400 Yonge Street, Suite 501
Toronto, ON
M2N 5R5
Tel: (416) 227-9005
Fax: (416) 227-9007

September 28, 2011

To Whom It May Concern:

Re: 1500 Dundas Street East – Wal-Mart Sign Permit Application

As the registered owners of the above-referenced property, we hereby authorize Pattison Sign Group to make the sign permit application required for the planned work to the existing Wal-Mart store.

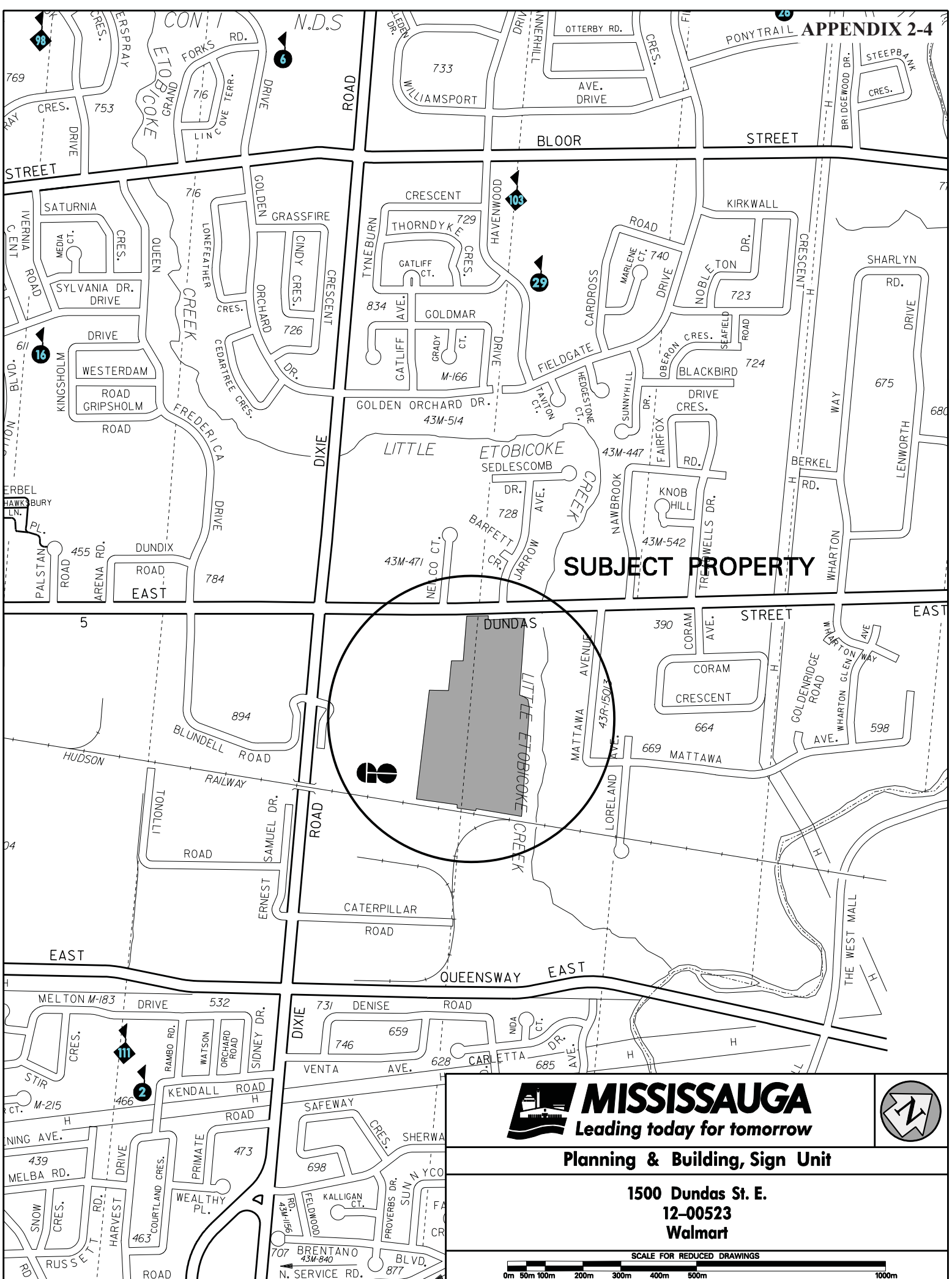
Thank you

1500 Dundas East Holdings Inc.

Per: 

Name: Richard Michaeloff

Position: Authorized Signing Officer



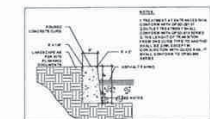
MISSISSAUGA
Leading today for tomorrow



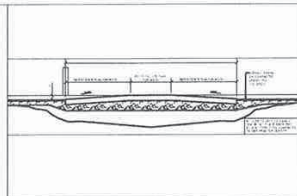
Planning & Building, Sign Unit

**1500 Dundas St. E.
12-00523
Walmart**

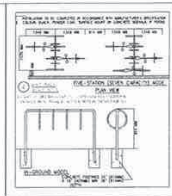




5 CONCRETE CURB SECTION



9 SPEED HUMP DETAIL
NTS

(10) BIKE RACK DETAILS
NTS[illegible][illegible]

| | |
|------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------|
| 電話: 03-5684-1111 FAX: 03-5684-1112 東京都中央区新富町1-1-1 (有) 日本中央印刷 東京 中央区 新富町1-1-1 日本橋区 日本橋 1-1-1 TEL: 03-5684-1111 FAX: 03-5684-1112 | 東京都中央区新富町1-1-1 (有) 日本中央印刷 東京 中央区 新富町1-1-1 日本橋区 日本橋 1-1-1 TEL: 03-5684-1111 FAX: 03-5684-1112 |
|------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------|

上海外灘 100 號 10 樓 1001 室
電話：021-2311 8888 傳真：021-2311 8889
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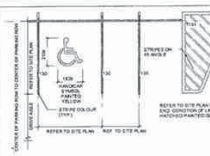
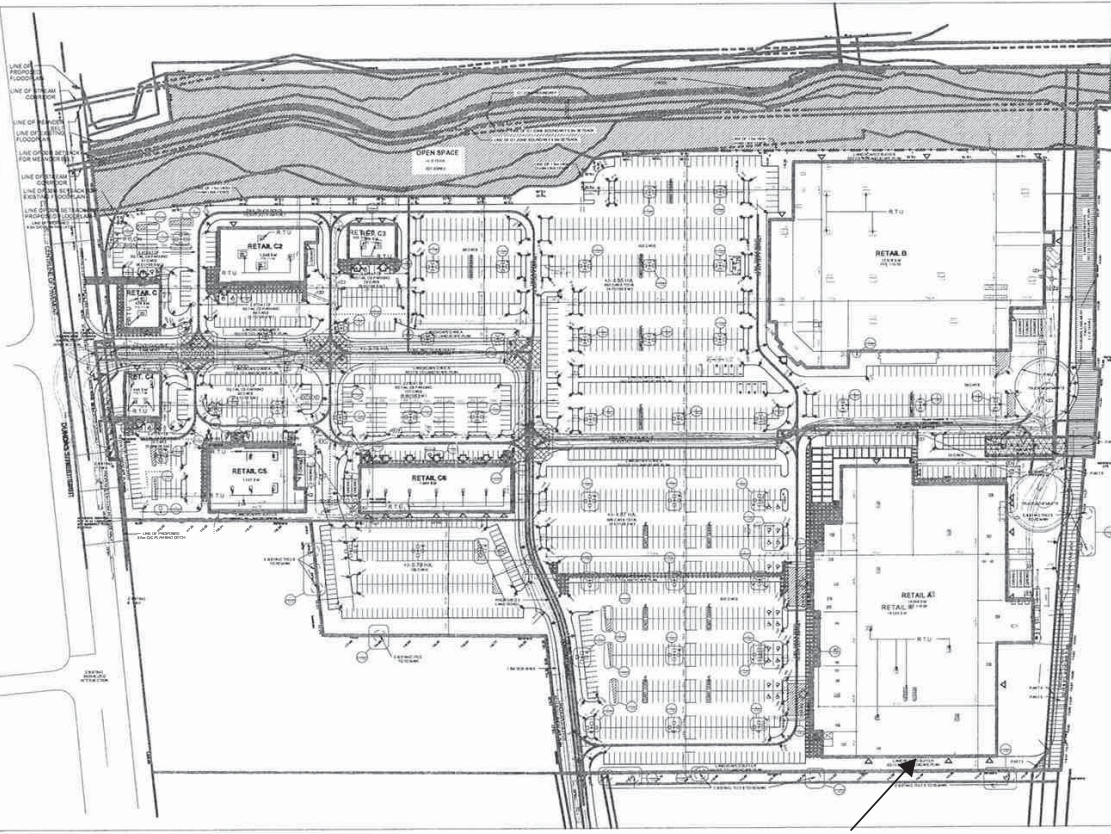
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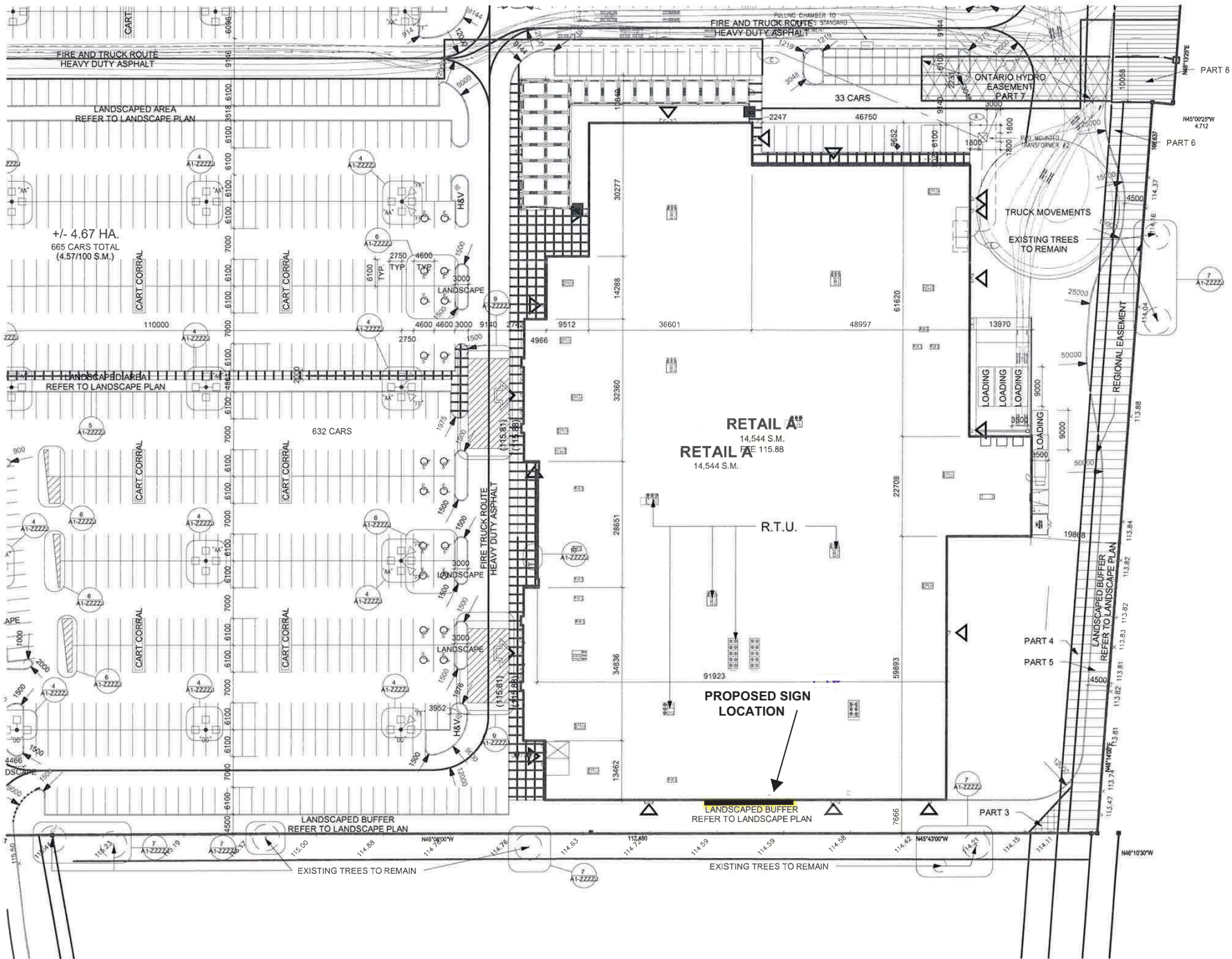


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I HEREBY CERTIFY THAT THIS DRAWING IS A TRUE AND CORRECT REPRESENTATION OF THE DEVELOPMENT PLANS AS APPROVED BY THE MUNICIPAL ENGINEER ON 08-132 W1

ALL ROOF TOP MECHANICAL UNITS SHALL BE LOCATED AT THE REAR OF THE BUILDING. THE APPLICANT WILL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM TRANSPORT CANADA'S RESTRICTED AREA ACT.

ALL DAMAGE AREAS ARE TO BE REPAIRED TO ORIGINAL CONDITION OR BETTER. THE APPLICANT SHALL BE RESPONSIBLE FOR THE RELEASE OF SECURITIES.

ANY FENCING ADJACENT TO MUNICIPALITY SHALL BE THE PROPERTY OF THE MUNICIPALITY.

ALL EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE. THE EXISTING DRAINAGE PATTERN SHALL BE MAINTAINED.

AT THE ENTRANCES TO THE SITE, THE APPLICANT SHALL BE RESPONSIBLE FOR THE CONTINUOUS THROUGH THE DRIVE. THE SITE IS TO STOP AT THE PROPOSED LOCATES PRIOR TO THE RIGHT OF WAY. SNOW FENCING SHALL BE ERECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE RIGHT OF WAY WORKS SHALL BE COMPLETED BY THE CONTRACTOR. THE APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE DURING THE CONSTRUCTION PERIOD.

ALL FIRE ACCESS ROUTES SHALL BE MAINTAINED AS ASPHALT, CONCRETE OR LOCK. LESS THAN 11,363 kg PER AXLE AND IN 12.5 OVER A MINIMUM DISTANCE.

CONTRACTOR TO REPAIR AND MAINTAIN THE EXISTING DRAINAGE. THE STORAGE OF MATERIALS IS NOT PERMITTED.

ON-SITE WASTE COLLECTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THERE WILL BE NO COLLECTION, POSSIBLE CARDBOARD OR OTHER WASTE.

GRADES WILL BE MET WITHIN A 3% TOLERANCE WITHIN THE SITE.

ALL SURFACE DRAINAGE SHALL BE MAINTAINED. THE LOCATION TO BE APPROVED PRIOR TO CONSTRUCTION.

SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLAN. ALL SIGNS WILL BE SUBJECT TO AMENDMENT AND A SEPARATE SIGN / BUILDING DIVISION.

DRIVEWAYS ON THE MUNICIPAL ROAD SHALL BE MAINTAINED. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE ADJACENT PROPERTIES.

ALL EXTERIOR LIGHTING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

THE STRUCTURAL DESIGN OF ANY RETAINING WALL LOCATED ON THE SITE SHALL BE THE RESPONSIBILITY OF THE APPLICANT. THE APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE DURING THE CONSTRUCTION PERIOD.

I HEREBY CERTIFY THAT THE PROPOSED DEVELOPMENT CONFORMS WITH THE SOUND ENGINEERING PRACTICE AND THE REQUIREMENTS OF THE MUNICIPALITY. THE APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE DURING THE CONSTRUCTION PERIOD.

ALL EXISTING ELEVATIONS SHOWN ON THE SITE DEVELOPMENT PLAN.

PARKING SPACE(S) RESERVED FOR THE USE OF THE APPLICANT. THE APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE DURING THE CONSTRUCTION PERIOD.

THE GEOTECHNICAL AND ENVIRONMENTAL ENGINEER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE DURING THE CONSTRUCTION PERIOD.

THE CITY OF MISSISSAUGA REQUIRE THE BUILDING DIVISION AS PART OF AN APPLICATION. THE APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE DURING THE CONSTRUCTION PERIOD.

FINISHED GRADES AND FINISHED FLOOR GRADES SHALL BE THE RESPONSIBILITY OF THE APPLICANT. THE APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE DURING THE CONSTRUCTION PERIOD.

THIS CONTROL PLAN IS PREPARED IN CONJUNCTION WITH AN APPLICATION FOR A PERMIT. THE APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE DURING THE CONSTRUCTION PERIOD.

REVEGETATION (IE. SEEDING/SOD) SHALL BE COMPLETED WITHIN 30 DAYS OF INACTIVITY.



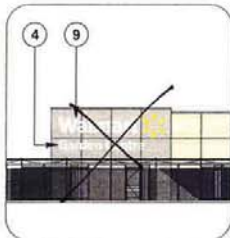
DETAILS
SCALE: 1/32" = 1'-0"



SIDE ELEVATION
CAD REFERENCE: 10915 #A2
APRIL 14, 2011

WEST ELEVATION

Application for this sign only



DETAILS
SCALE: 1/32" = 1'-0"



DETAILS
SCALE: 1/32" = 1'-0"

FRONT ELEVATION
CAD REFERENCE: 10915 #A2
APRIL 14, 2011

NORTH WEST ELEVATION

Date: _____
Customer Approval: _____



ISO 9001:2008 Certified Enterprise

FJ-22334A

PRESENTATION DRAWING

| | | |
|---------------|-------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------|
| Installation: | Interior: | <input checked="" type="checkbox"/> Exterior: |
| # | Descriptions: | |
| 1 | 5' WM ILLUMINATED CHANNEL LETTERS SEE DRAWING #WAL1C9E7026 | |
| 2 | NON-ILLUMINATED CUT-OUT LETTERS (SC) SEE DRAWING #WAL1L7EX410 | |
| 3 | ILLUMINATED S/F SIGN SEE DRAWING #MCD1S9C1001 | |
| 4 | NON-ILLUMINATED CUT-OUT LETTERS (GC) SEE DRAWING #WAL1L7EX422 | |
| 5 | NON-ILLUMINATED CUT-OUT LETTERS (F&F) SEE DRAWING #WAL1L7EX418 | |
| 6 | NON-ILLUMINATED CUT-OUT LETTERS (H&P) SEE DRAWING #WAL1L7EX419 | |
| 7 | VINYL DECAL (EXIT) SEE DRAWING #WAL1LXHX017 | interior |
| 8 | VINYL DECAL (ENTER) SEE DRAWING #WAL1LXHX018 | interior |
| 9 | 4' WM ILLUMINATED CHANNEL LETTERS SEE DRAWING #WAL1C9E7027 | |
| 10 | S/F ILLUMINATED SIGN BOX (PHARMACY) SEE DRAWING #WAL1S6D7005 | |
| 11 | S/F ILLUMINATED SIGN BOX (GEORGE) SEE DRAWING #WAL1S6D1024 | |
| 12 | 'CLINIC' MOLDED LETTERS ON ALUMINUM BACKER PANEL WITH ALUMINUM ANGLES. OTHER GRAPHICS TO BE VINYL. SEE DRAWING WAL1S1CX002 | |
| 13 | TIM HORTON'S SIGN (BY OTHERS) | |

+ 14
+ 14A

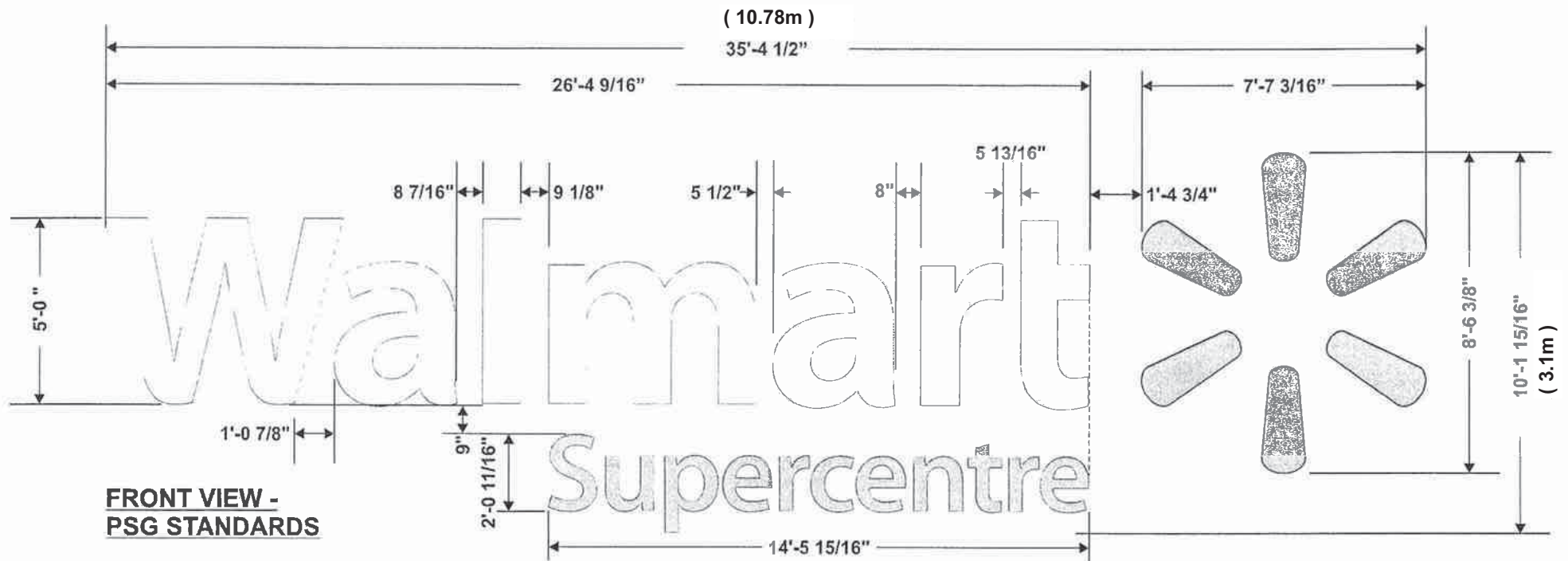
| # | Revision(s) | By: | Date: |
|---|---------------------------------------------|-----|------------|
| 1 | CHANGED TIM HORTONS TO STACKED | TB | 06.16.2011 |
| 2 | RELOCATED & CHANGED TIM HORTONS TO SIGN BOX | TB | 10.04.2011 |

ENSEIGNES
PATTISON
SIGN GROUP

Tel (506) 735-5506 Fax (877) 737-1734 Toll Free 1-800-561-9791
Client: WALMART #1126
Site: MISSISSAUGA, ON
Consultant: F. JOLICOEUR
Draftsman: SAM THERIAULT Date: 06.13.2011
Page: 1/1 Scale: 1/64" = 1'-0"



AREA = 359.5 ft. ² (33.4m ²)





SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

August 14, 2012

FILE: 12-00702

RE: Whole Food Market
155 Square One Drive - Ward 4

The applicant requests the following variance to section 4(6) of the Sign By-law 0054-2002, as amended.

| Section 4 (6) | Proposed |
|----------------------------|----------------------------------------------------|
| Roof signs are prohibited. | One (1) roof sign erected on the roof of a canopy. |

COMMENTS:

The requested variance is to permit a roof sign on a first storey entry canopy fronting Rathburn Road West. The proposed sign is well designed and is positioned directly above the main entrance to the business. In this regard, the Planning and Building Department finds the variance acceptable from a design perspective.

255 PINEBUSH ROAD, CAMBRIDGE ONTARIO CANADA N1T 1B9



TEL: 519.622.4040 FAX: 519.622.4031 WWW.PRIDESIGNS.COM

City of Mississauga
300 City Centre Drive
Mississauga ON
L5B 3C1
Attn: Jeff Grech

Re: 155 Square One Drive – Whole Foods Market – Sign Variance

Dear Jeff,

Please accept this letter as part of our variance application for the Whole Foods Market site listed above. A variance is required based off the ASR for this site received on April 25, 2012. We are proposing 1 sign, a portion of which is above the roofline of a canopy and mounted to an existing steel beam and has been deemed to be a roof sign.

The sign in question has been proposed to advertise a new service for Whole Foods Market, "The Café". This sign is essential to advertising the new café, which gives the site a high degree of visibility to the public as a healthy lunch alternative. Whole Foods Market is traditionally an organic grocery store, specializing in healthy foods. The Café is a non-traditional component unique to this location, and as such requires a sign for advertisement.

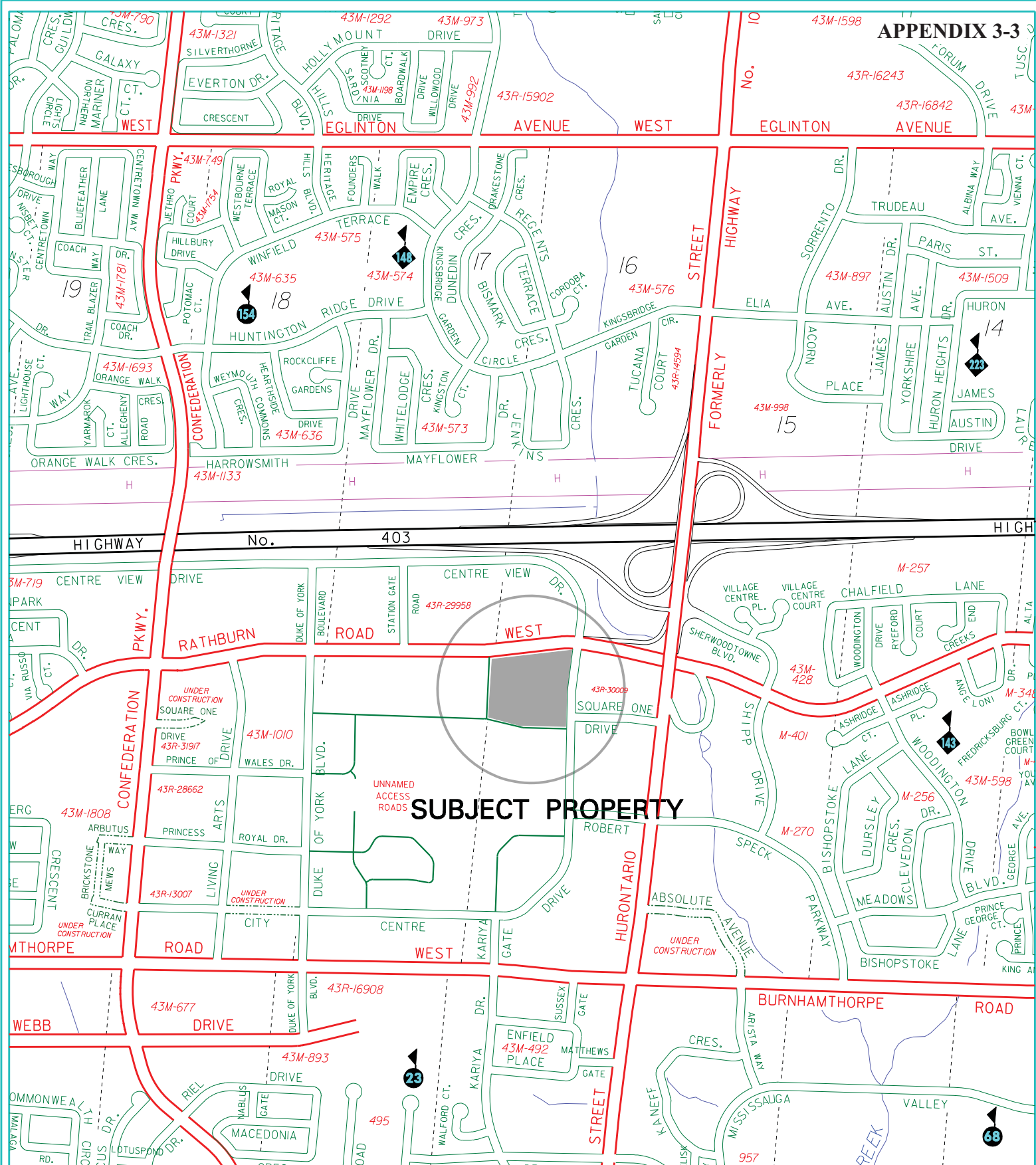
The canopy surface on which the sign is to be erected is roughly 17'11" beyond the nearest flat wall, and as such advertising would need to be extended as far towards the end as possible to provide a clear sightline to the signage from the ground level. The concept of attaching the sign to the steel bar to provide a "stacked copy" rather than extending it horizontally along the canopy face allows a highly visible and aesthetically pleasing display rather than a lengthy display of copy which would appear overbearing in nature.

The sign is proposed on the roof portion of the canopy which serves as a vestibule for the Café entrance. The location of the sign clearly identifies the café's entrance, and if it was to be located on a wall behind it would not have the same affect.

Based on the above I would ask for your consideration and support of this application. The sign is in a logical location which will benefit the public by providing an ease of location and identification. The sign does not detract from the building, and is not a hazard to public safety. For any questions regarding this proposal, please contact the undersigned.

Thanks,

Nathan Dart – Permit Coordinator – T: 519-622-4040x274 – F: 519-622-4031 – E: ndart@pridesigns.com



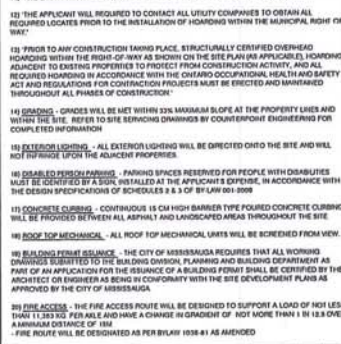
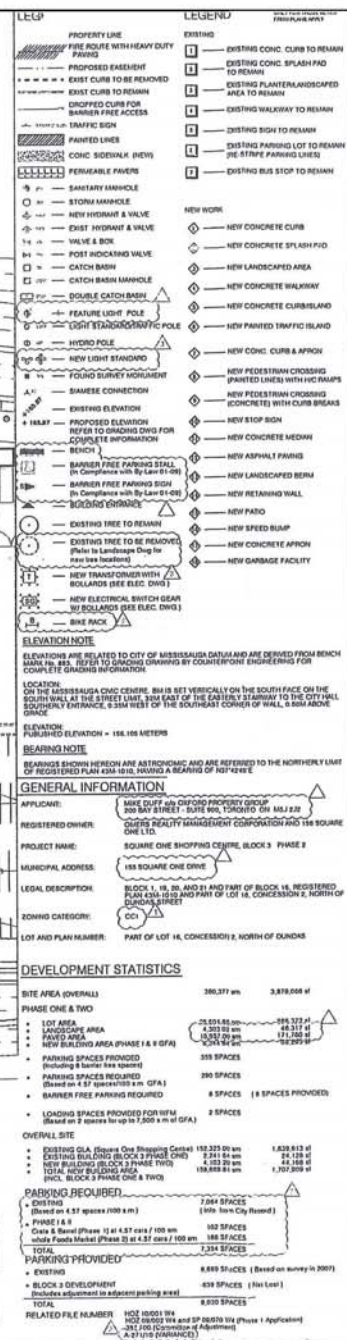
SUBJECT PROPERTY



ENGINEERING & WORKS

**REHABILITATION
PHASE
CONTRACT**





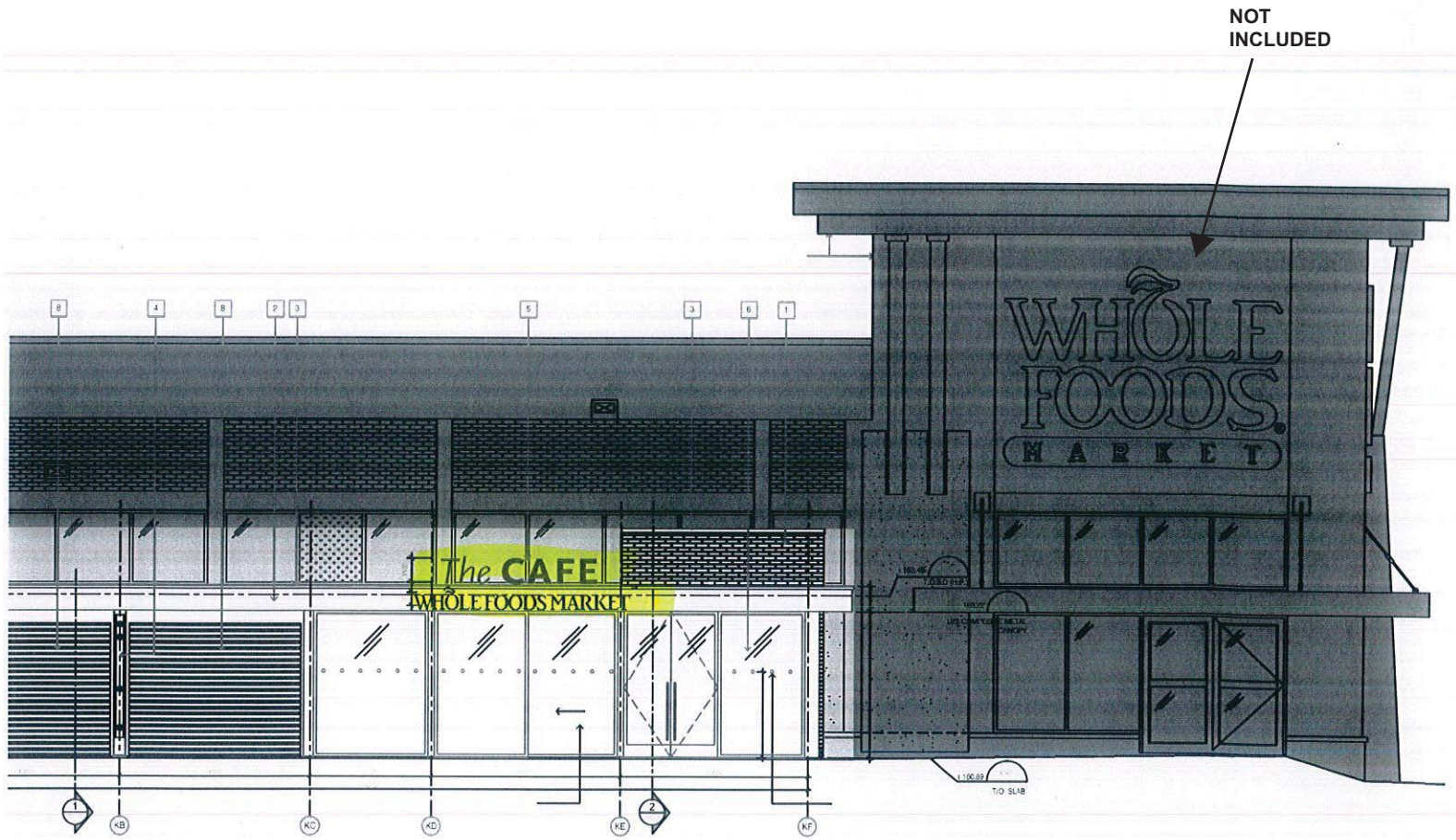

MINIC INTERNATIONAL ARCHITECTS LTD.
210 Yorkville Ave., Toronto, Ontario, Canada, M5R 0C9
Tel: (416) 673-1871 www.minicinternational.ca

APPLICANT:
OXFORD PROPERTY GROUP
SUITE 1100, 130 ADELAIDE STREET WEST
TORONTO, ON M5H 2P5
Phone: 416-855-5374
Fax: 416-855-8307
CONTACT: MICHAEL DUFF

SITE LOCATION:
SQUARE ONE SHOPPING CENTRE, BLOCK 3
SQUARE ONE - BLOCK 3 & RETAIL DEVELOPMENT
RATHBURN ROAD & CITY CENTRE DRIVE
MISSISSAUGA ONTARIO

MASTER SITE PLAN (REFERENCE ONLY)
SITE PLAN FILE # SP 10/063 W3

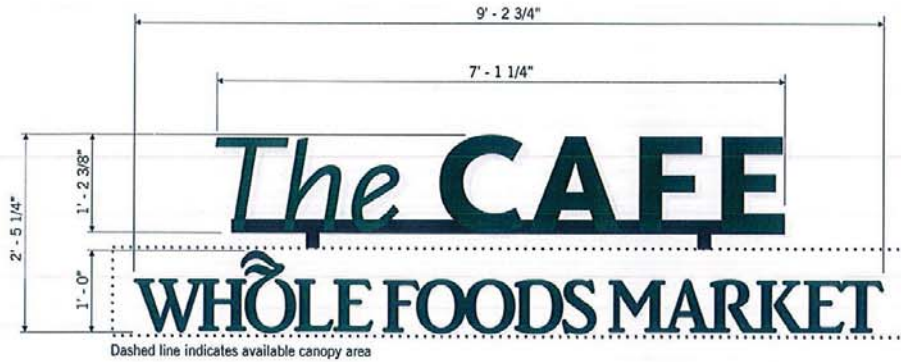
DATE: MAR 2010
PROJECT No. 09011
DRAWING No. A2-01



North Elevation

PARTIAL
NORTH
ELEVATION

Illuminated Channel Letters + Reverse Channel Letters (1 Required)
Scale: N.T.S.



Material Specifications

"The Cafe"

- Aluminum constructed pre-finished returns to be painted green pms 3425c
- 3/16" white acrylic faces with dark emerald green 3m #3630-126 applied to first surface
- 1" black trim cap to be painted green pms 3425c
- White L.E.D illumination

Note: Letters to be installed flush to existing steel beam!

"Whole Foods Market"

- .125 router cut aluminum faces + 2" deep aluminum returns to be painted green pms 3425c
- Letters to be installed flush to canopy surface

Area = 2.09 m²

Drawing No.
WFM -CL000001.120E1

Refer to No.
WFM -MS000001

Total Sq. Footage =

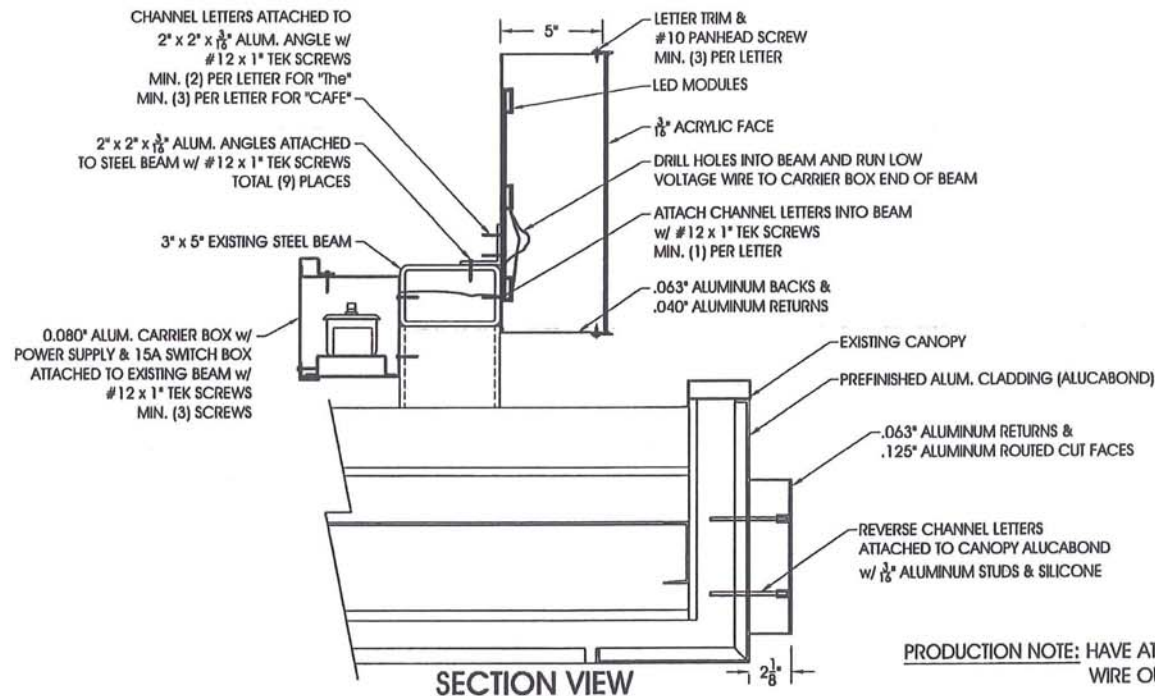


Electrical Requirements
120V

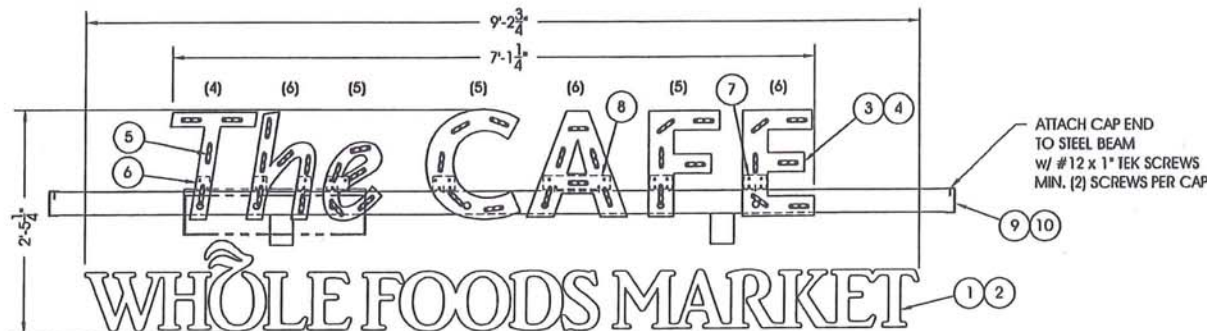
Graphic rendition is representative of specific signage. Colour / dimensional / material details should be verified using reference drawing specifications. Pride Signs Ltd. is not responsible for inherent variations caused by display and / or print variations.

☒ Preliminary Artwork
☐ Approved for Production

CLIENT APPROVAL
REVISION DATES:
Jan. 12, 2012
J. Lewis



INSTALL NOTE: ATTACH CARRIER BOX NEAR ONE END OF BEAM; DRILL $\varnothing 7/8"$ HOLE THRU CARRIER BOX AND BEAM (AS CLOSE TO END OF BEAM AS POSSIBLE); DRILL $\varnothing 5/8"$ ELECTRICAL HOLES THRU LETTERS INTO BEAM (PUT $\varnothing 5/8"$ PLASTIC GROMMETS OVER HOLES); RUN ALL LEADS FROM LETTERS INTO BEAM AND FISH THEM TO THE CARRIER BOX THRU THE HOLE PREVIOUSLY DRILLED; CONNECT ALL LEADS INSIDE CARRIER BOX AND HOOK POWER SUPPLY TO IT.

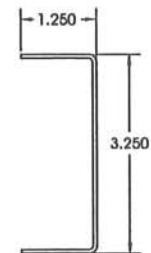


WFM -CL000001.120E1

SHEET #: 1 OF 2

BILL OF MATERIALS

| REF# | DESCRIPTION | QTY | LENGTH |
|------|---------------------------------|-----|--------|
| 1 | 0.125" ALUM. ROUTER CUT LETTERS | 10 | |
| 2 | 0.063" ALUM. RETURNS x 2" | 1 | 57'-0" |
| 3 | 0.040" ALUMINUM COIL x 5" | 1 | 45'-0" |
| 4 | 0.063" ALUM. BACK SHEET | 7 | |
| 5 | GOG-3 WHITE LED | 37 | |
| 6 | 2" x 2" x 3/16" ALUM. ANGLE | 3 | 1 3/4" |
| 7 | 2" x 2" x 3/16" ALUM. ANGLE | 4 | 3" |
| 8 | 2" x 2" x 3/16" ALUM. ANGLE | 1 | 9" |
| 9 | 0.063" BEAM END CAP x 5 1/4" | 2 | 5 1/2" |
| 10 | 0.063" CAP END x 1 3/16" | 4 | 3 1/8" |



10 BEAM END CAP

PRODUCTION NOTE: HAVE AT LEAST 10'-0" OF LOW VOLTAGE WIRE OUT OF EACH CHANNEL LETTER



DESIGN SPECIFICATIONS
WIND $q(z)$ = 0.49kPa
SNOW S_s = 0.9kPa
 S_r = 0.4kPa



S/S ILLUM. CHANNEL LETTERS

WHOLE FOODS
MARKET

REVISION

00 RELEASED FOR PRODUCTION

VM 13-APR-2012

APPROX WEIGHT: 53 lbs

CUT FILE CREATED: 13-APR-2012



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

August 14, 2012

FILE: 12-00676

RE: MNP
75 Courtneypark Drive West - Ward 5

The applicant requests the following variance to section 4 (6) of the Sign By-law 0054-2002, as amended.

| Section 4 (6) | Proposed |
|----------------------------|-----------------------------------------------------------------------------|
| Roof signs are prohibited. | One (1) roof sign erected on the roof of a entrance canopy to the building. |

COMMENTS:

The requested variance is to permit a roof sign on a first storey entry canopy. The sign proposed for this building is similar to canopy signs that have recently been approved on adjacent buildings. The proposed sign is well designed and identifies the tenant of this unit.

In this regard, the Planning and Building Department finds the variance acceptable from a design perspective.



Manuella Proksch
General Manager
Direct Line: 905-752-1736

April 16, 2012

City of Mississauga
Planning and Building Department
300 City Centre Drive
Mississauga, ON

**RE: Redcliff Realty Management Inc. as representatives for the owner of 75 Courtney Park Drive,
Mississauga ON**

I am writing in regards to the installation of a new signage by our tenant MNP LLP. The new building standard at the property mandates that tenants refrain from installing signage on the building fascia. Therefore the tenant has applied for signage above the building unit's canopy to adhere to the change in the policy. The landlord has approved the signage to be installed as per the drawings submitted to the City of Mississauga.

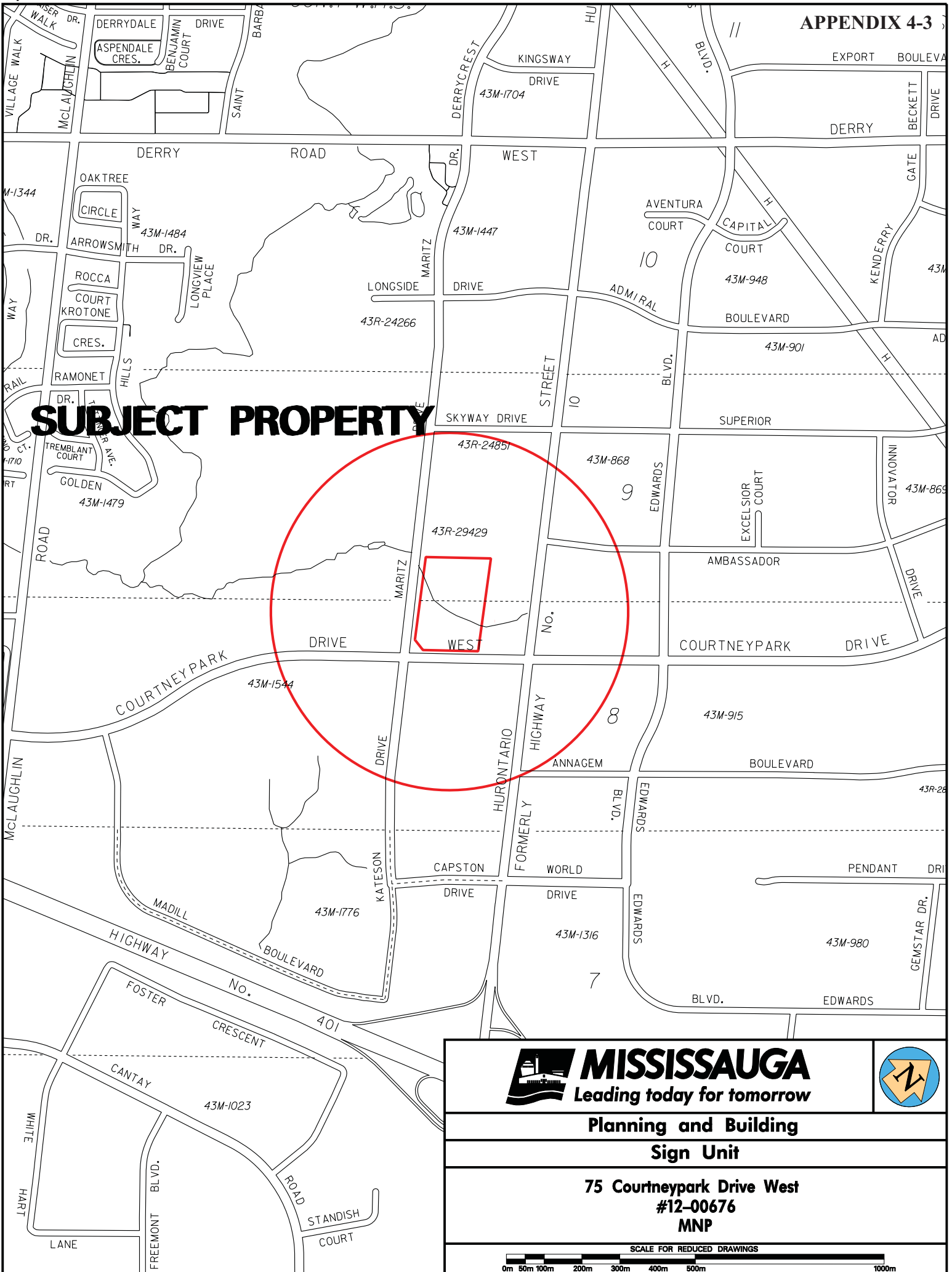
Should you have any questions or concerns, please contact me at 905-752-1736.

Sincerely,

REDCLIFF REALTY MANAGEMENT INC.
As agents and/or managers for HOOPP Realty Inc.

A handwritten signature in black ink, appearing to read 'M. Proksch', written over a horizontal line.

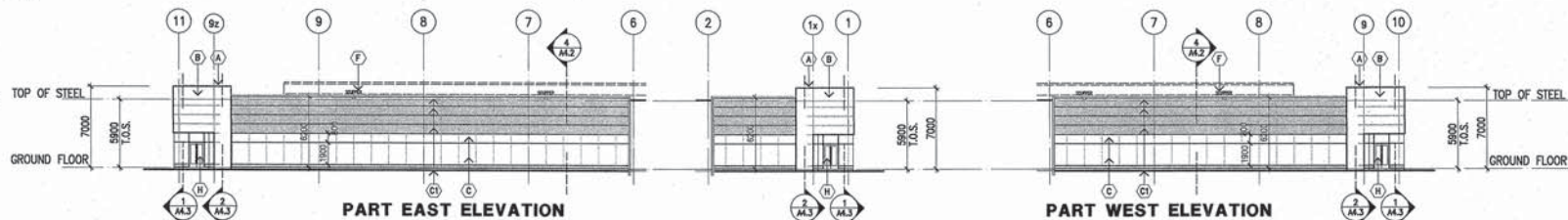
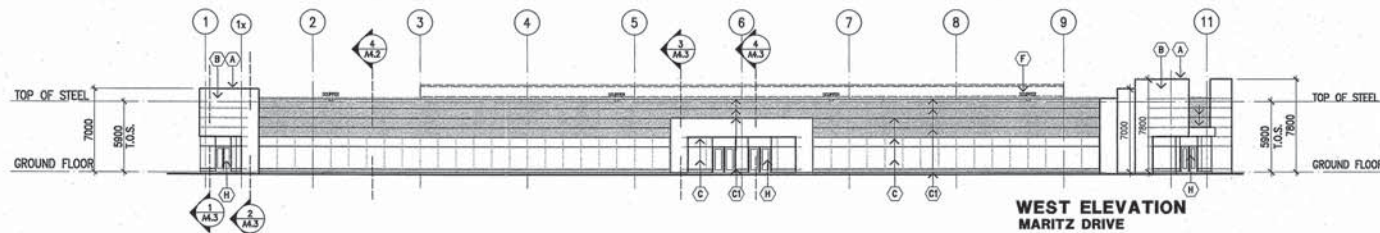
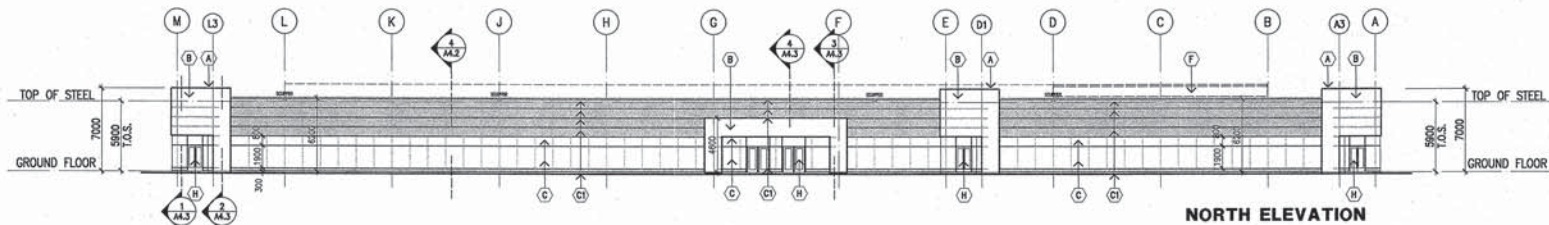
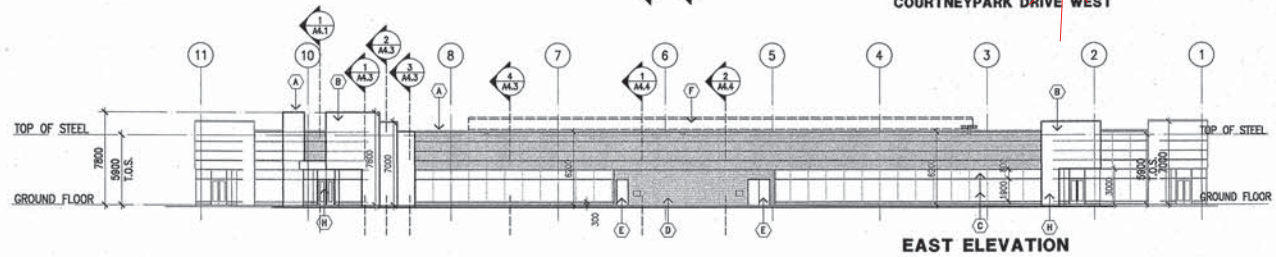
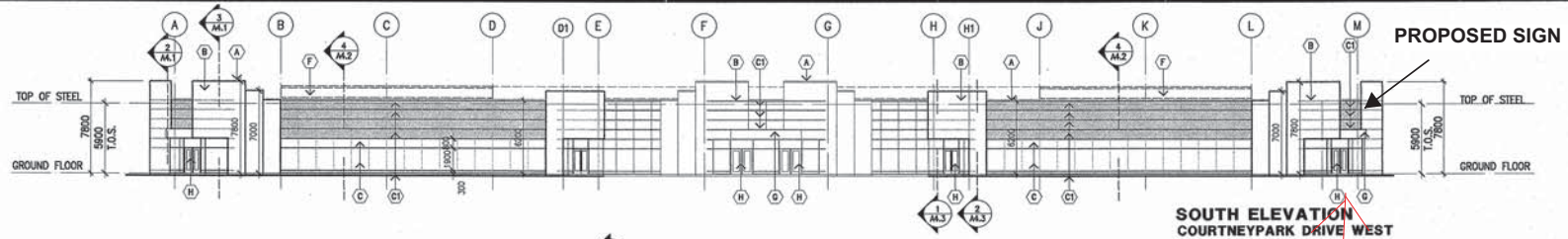
Manuella Proksch
General Manager



**Planning and Building
Sign Unit**

**75 Courtney Park Drive West
#12-00676
MNP**

NOTE:
THERE ARE NO ROOF TOP UNITS ASSOCIATED WITH THIS PROJECT CURRENTLY.
ANY FUTURE ROOF TOP MECHANICAL UNITS WILL BE ACCOMMODATED
WITHIN THE SCREENED AREA OUTLINED ON THE SITE PLAN DRAWING(S) AND WILL
BE COMPLETELY SCREENED FROM VIEW.



LEGEND:

- (A) PREFINISHED CANT FLASHING
CLEAR ANODIZED ALUMINUM
- (B) WHITE ARCHITECTURAL PRECAST CONCRETE
LIGHT SANDBLAST FINISH C/W INSET REVEALS
- (C) CURTAIN WALL SYSTEMS COMPRISED OF CLEAR
ANODIZED FINISHED ALUMINUM THERMALLY BROKEN
FRAMES WITH HERMETICALLY SEALED GLASS UNITS,
OUTER SHEET GREY REFLECTIVE GLAZING
VERTICAL BUTT JOINTS AND HORIZONTAL MULLIONS
- (CI) GLAZED SPANDREL PANELS GREY REFLECTIVE GLAZING
AS "C" ABOVE WITH SCRM BACKING INSULATION AND
GALVANIZED BACKING SHEET
- (D) SPLIT FACE - WHITE DOLOMITE
ARCHITECTURAL BLOCK
- (E) HOLLOW METAL DOOR - PAINTED
- (F) PREFINISHED METAL ROOF SCREEN (FUTURE)
- (G) PREFINISHED METAL CANOPY
- (H) CLEAR ANODIZED ALUMINUM DOOR
C/W BLACK TINTED GLAZING

Allen & Sherriff
Architects, Inc.
1000 Yonge Street, Richmond Hill, Ontario, L4C 9G9
Tel: (905) 884-8872 • Fax: (905) 884-1117
1890 Denison Drive, Suite 28, Mississauga, Ontario, L4W 4T7
Tel: (905) 614-4888 • Fax: (905) 614-4887



| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 10/04/07 | FOR PLAN REVISIONS |
| 2 | 10/05/07 | FOR REVISIONS |
| 3 | 10/05/07 | FOR REVISIONS |
| 4 | 10/05/07 | FOR REVISIONS |
| 5 | 10/05/07 | FOR REVISIONS |

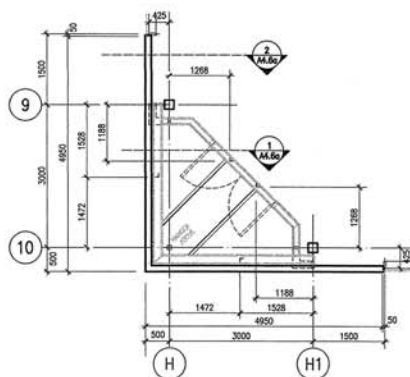
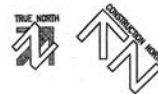
On the drawings and documents submitted with this project, I, the undersigned, being a duly qualified Professional Engineer in the Province of Ontario, certify that I am a duly qualified Professional Engineer in the Province of Ontario, and that I am the author of the drawings and documents submitted with this project, and that I am responsible for the design and construction of the project.

HOOPP
Hospitals of Ontario Pension Plan
1, Toronto Street, Suite 1400
Mississauga, Ontario
M5C 1A6
Tel: (416) 369-2122
Tel: (905) 335-3059 (toll free outside)

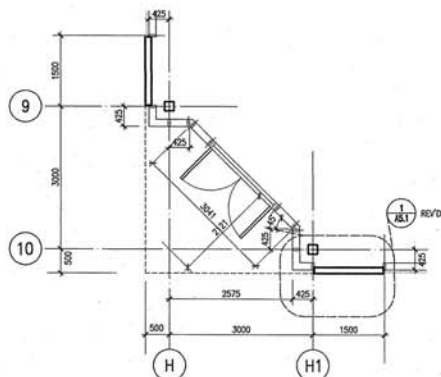
75 COURTNEY PARK DRIVE WEST
MISSISSAUGA GATEWAY CENTRE
MISSISSAUGA, ONTARIO
9P 07/167 W5

ELEVATIONS

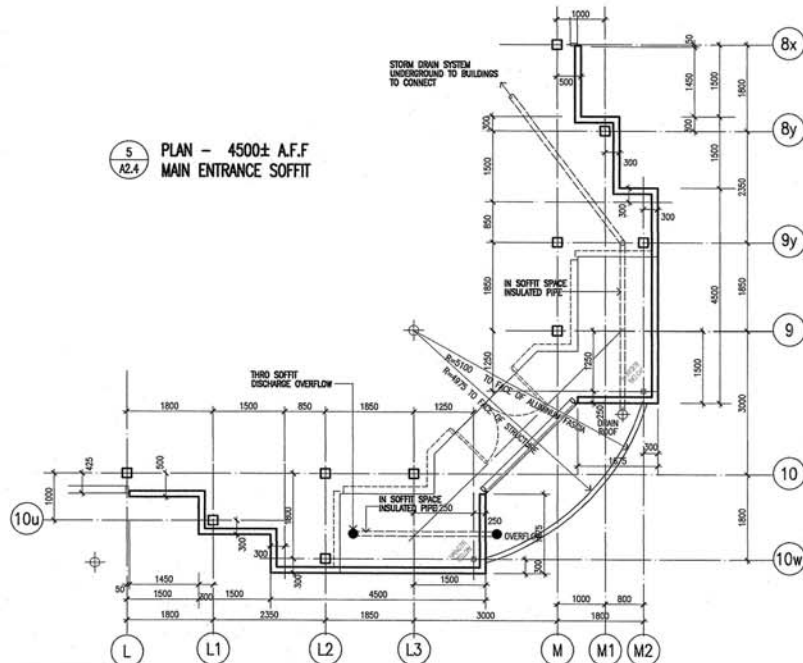
DATE: 05/29/2007
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN / 1:200
JOB NUMBER: 2869
REV: A3.1



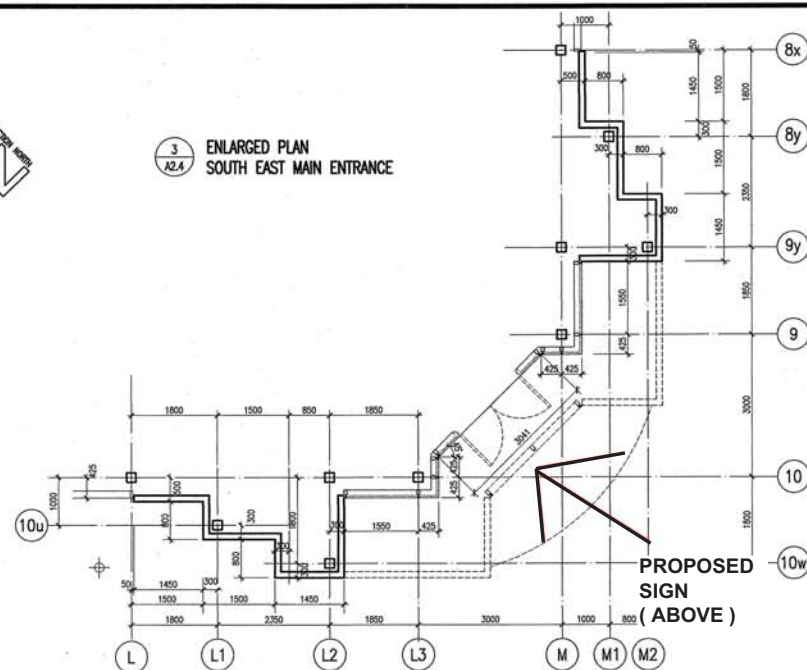
1 PLAN - 3000± A.F.F.
SOUTH WEST MAIN ENTRANCE SOFFIT



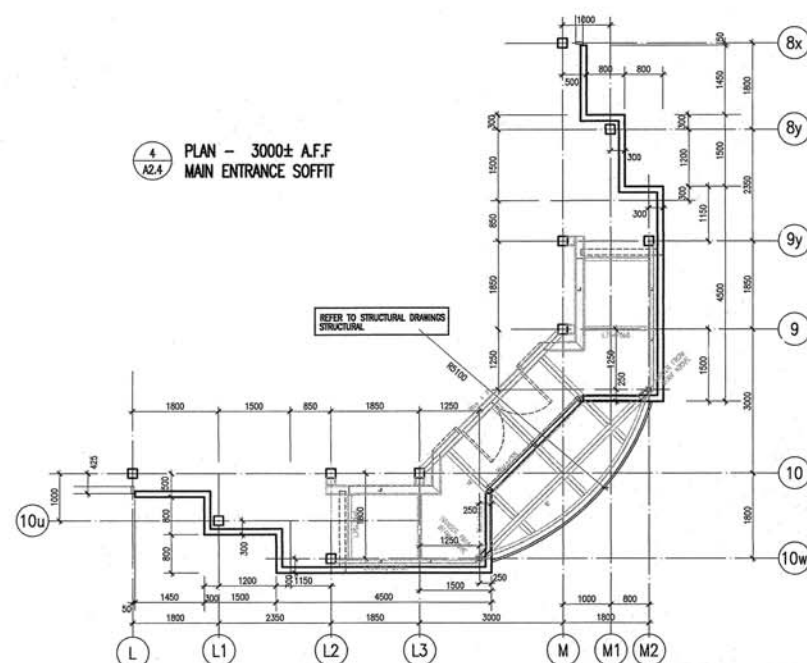
2 ENLARGED PLAN
SOUTH WEST MAIN ENTRANCE SOFFIT



5 PLAN - 4500± A.F.F.
MAIN ENTRANCE SOFFIT



3 ENLARGED PLAN
SOUTH EAST MAIN ENTRANCE



4 PLAN - 3000± A.F.F.
MAIN ENTRANCE SOFFIT

Allen & Sherriff Architects, Inc.
1000 Yonge Street, Suite 100, Oakville, ON L6H 5H9
(905) 846-1875 • (905) 846-1877
1000 Lakeshore Drive, Suite 200, Mississauga, ON L4Y 4T7
(905) 846-1875 • (905) 846-1877



| NO. | REVISION | DATE |
|-----|-------------------|------------|
| 1 | ISSUED FOR PERMIT | 2008-07-14 |

As shown and described on these drawings, the work shall be completed in accordance with the specifications and standards of the Province of Ontario and the City of Mississauga. The drawings are not to be used for any other purpose without the written consent of the Engineer.

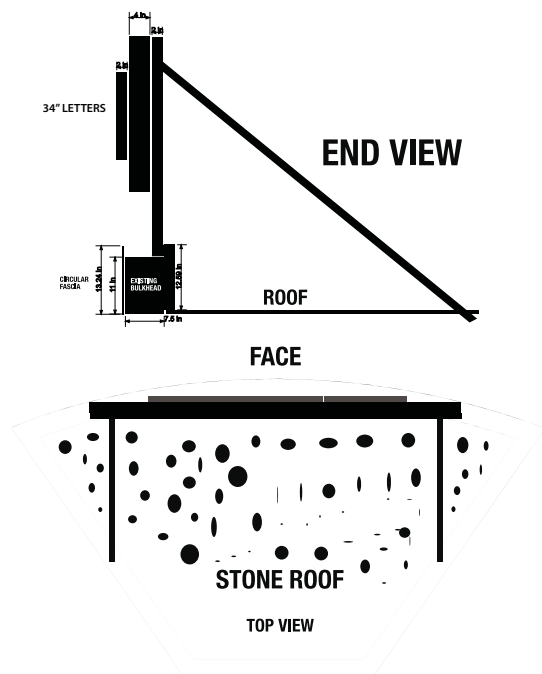
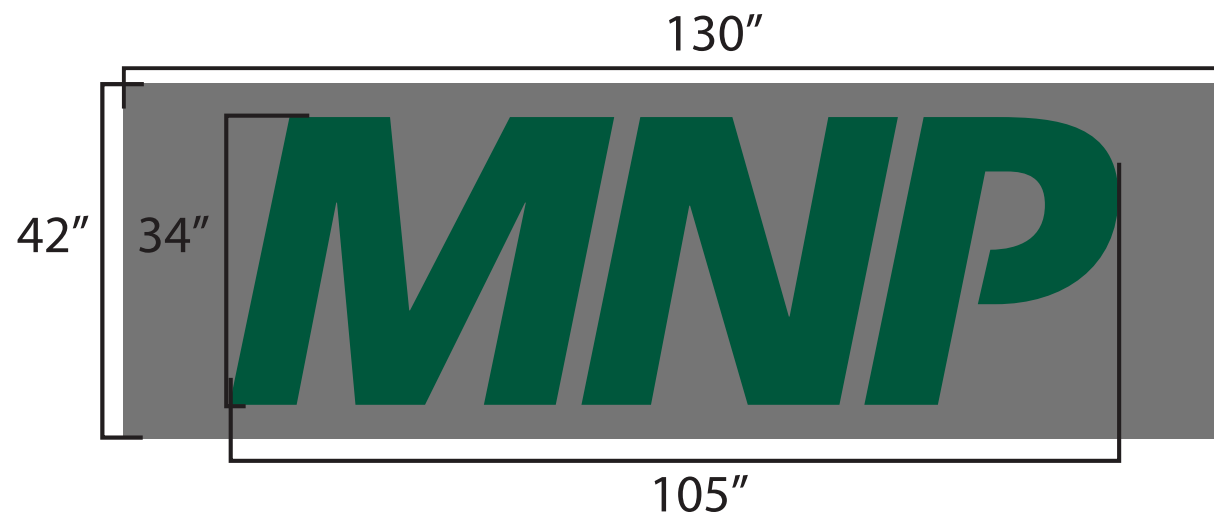
HOOPP
Hospital of Ontario Pension Plan
1 Toronto Street, Suite 1400
Toronto, Ontario M5C 1A5
Telephone: (416) 363-2372
1-800-333-3667 (toll free outside)

SP 07/167 W5
75 COURTHNEY PARK DRIVE WEST
BLOCK 1 RECONSTRUCTION PLAN 428-0444
MISSISSAUGA GATEWAY
CITY OF MISSISSAUGA, ONTARIO

PLAN DETAIL
SOFFIT

DATE: 07/14/2008
DRAWN BY: JG
CHECKED BY: JG
SCALE: AS SHOWN
1:50

JOB NUMBER: 2869
SHEET NUMBER: A2.4



DESCRIPTION

Building Sign

Size: 130" x 42"

Grey backing with channel letters

Manufacturing of 42" x 130" fascia sign mounted on aluminum structure attached to bulkhead.

Sign face consists of stainless steel letters with 5" returns, and white leds inside.

The complete face is installed on 2" deep carrier box for electrical accommodations.

The carrier box is mounted onto the aluminum structure that is made from 2"x2"x1/4" angle horizontal at the bottom bolted to the bulk head(hidden by circular fascia of bulkhead).

2 vertical pieces of same angle will be attached to bottom piece (to accept carrier box) 2 diagonal stiffeners will be attached to verticals and bulkhead.

Customer to provide 120V 15 amp feed.

Permits to be supplied by MNP.

Price: \$3895.00 installed.

APPROVED BY _____



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

August 14, 2012

FILE: 12-00578

RE: Royal Bank of Canada
6205 Airport Rd. – Ward 5

The applicant requests the following variance to Section 13 of the Sign By-law 0054-2002, as amended.

| Section 13 | Proposed |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| An office building in a commercial zone is permitted to have up to two (2) fascia signs located between the limits of the top floor and parapet or roof level or located on the structure enclosing the mechanical equipment on the roof, both in total not greater in area than 2% of the building face on which the sign is located. | One (1) fascia sign located on the structure enclosing the mechanical equipment on the roof and has a sign area equal to 3% of the building face on which it is located. |

COMMENTS:

The proposed fascia sign is replacing an existing sign for the same tenant. The size of the sign is in proportion to the building on which it is located. The Planning and Building Department therefore finds the variance acceptable from a design perspective.

255 PINEBUSH ROAD, CAMBRIDGE ONTARIO CANADA N1T 1B9



TEL: 519.622.4040 FAX: 519.622.4031 WWW.PRIDESIGNS.COM

City of Mississauga
300 City Centre Drive
Mississauga ON
L5B 3C1

March 29, 2012

Attn: Mark Toliao

Re: RBC – 6205 Airport Rd – Sign Variance

Hi Mark,

Please accept this letter as part of the application package for the RBC site listed above. A variance has been requested due to the fact that the proposal exceeds the allowable 2% maximum area for a sign on a multi storey building. The RBC sign, as proposed, has an overall area of 11.61m². Based on the overall size of the building façade, the permitted size of the sign would be 8.12m². We are seeking a 3.49m² increase to the allowable sign area.

RBC has requested the addition of this sign to reflect their updated branding standards which include the text "RBC Royal Bank". The sign currently on the building is "RBC Financial Services", which is an old branding standard with the old colors on the letters. The addition of these letters helps the building become image compliant, and also helps them maintain the same visibility that they currently have as the existing sign is of similar size.

The sign is also comparable in size to the existing Case Bank sign which is on both the North and West Elevation, and helps present a uniform size of signage on the building on all elevations. Because of this it enhances to overall aesthetics of the site, as the balance of space vs. signage is consistent throughout the various facades.

Based on the above I would ask for your support and approval of the requested variance. The size requested is replacing a sign size similar for the same tenant and is not a substantial request. The sign will allow RBC to continue to have a high degree of visibility in this building as the sign is fully visible when travelling Northbound on Airport Rd. Should you have any questions or concerns regarding the proposal please contact the undersigned.

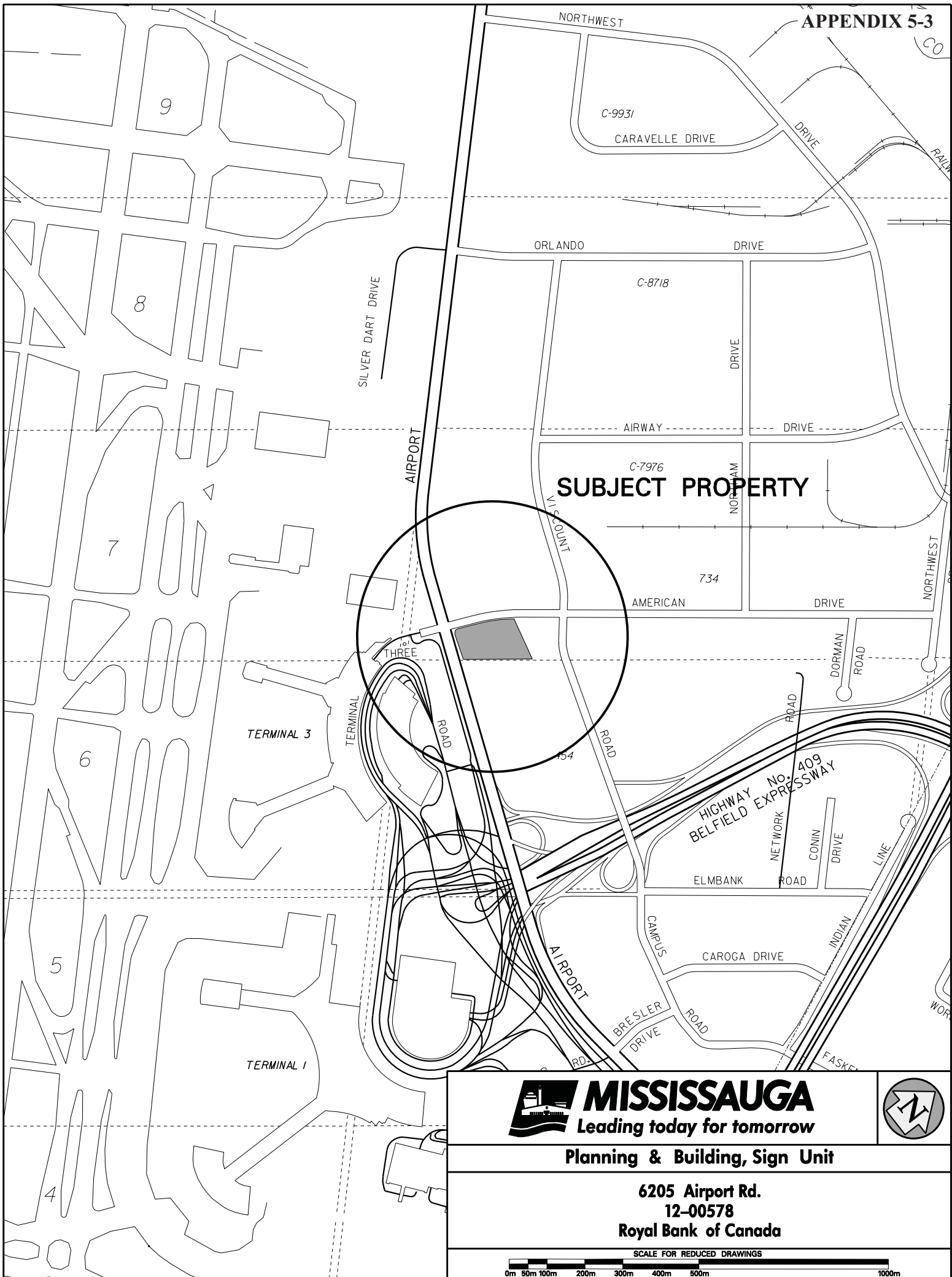
Thanks,

Nathan Dart – Permit Coordinator

T: 519-622-4040 x274

F: 519-622-4031

E: ndart@live.ca



MISSISSAUGA

Leading today for tomorrow



Planning & Building, Sign Unit

6205 Airport Rd.

12-00578

Royal Bank of Canada

SCALE FOR REDUCED DRAWINGS



Area = 11,61 m²

RBC -CL002952.120A1
Airport & American
Minor Eds
RBC -MS02952

Electrical Requirements
120V

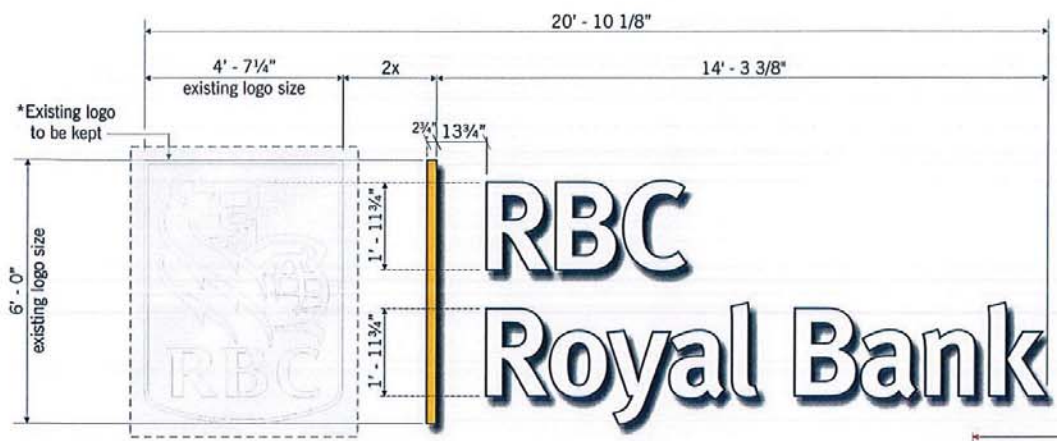
Graphic rendition is representative of specific signage. Colour / dimensional / material details should be verified using reference drawing specifications. Pride Signs Ltd. is not responsible for inherent variations caused by display and/or print variations.

• Site check required.
☒ Preliminary Artwork
☐ Approved for Production

CLIENT APPROVAL
REVISION DATES:
December 19, 2011
March 1, 2012
B. Guse
B. Guse

APPENDIX 5-5

Illuminated Channel Letters - 1 set required
Scale: N.T.S.

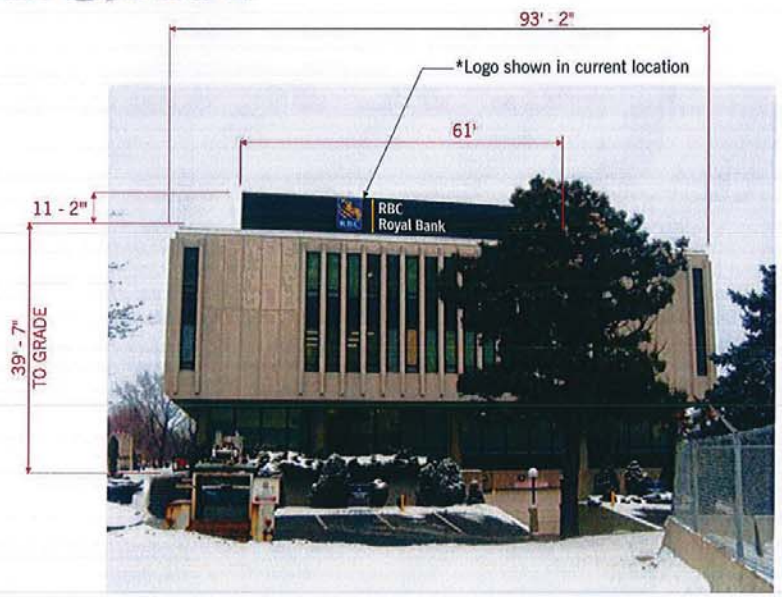


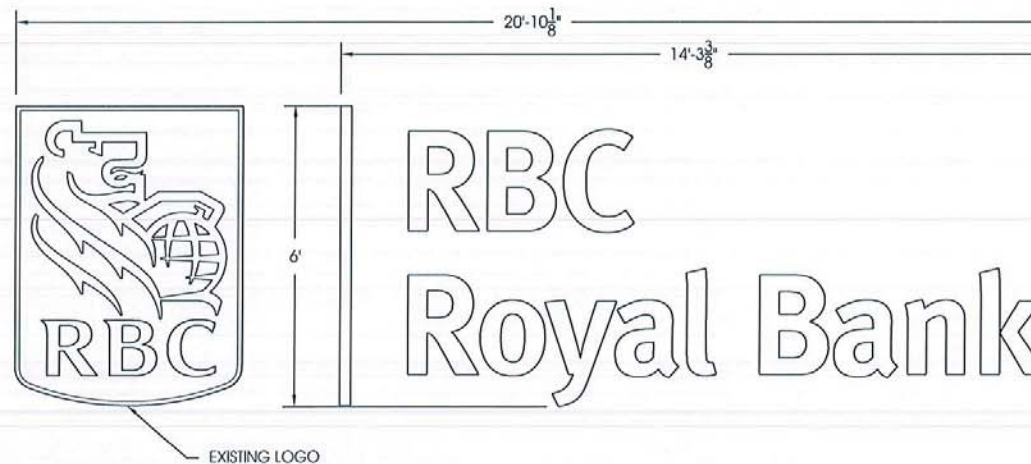
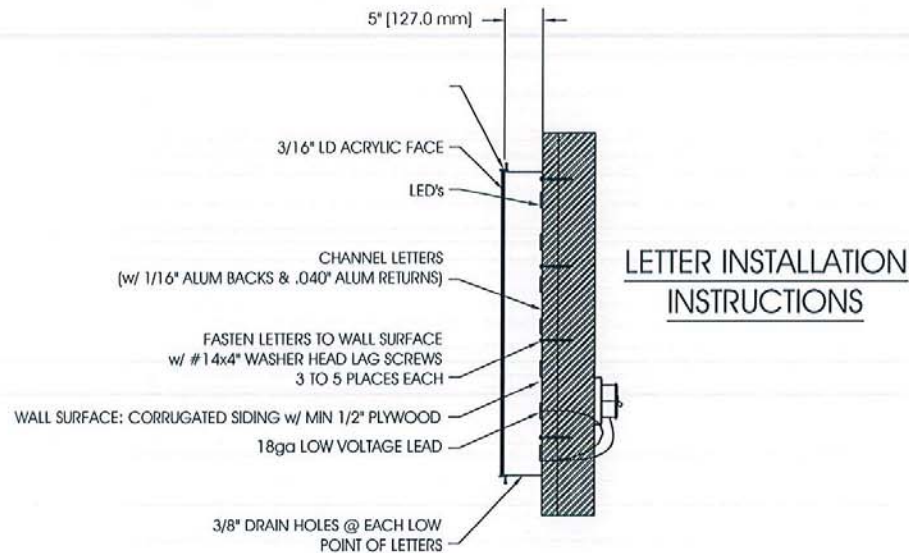
Material Specifications

- Aluminum pre-finished Dark Blue 289 coil returns
- 3/16" white LD 2447 acrylic faces with translucent vinyl graphics applied to 1st surface
- 1" Gemtrim Dark Blue #2767
- White LED illumination

Graphics Colours:

- Vertical Line Rule
- "RBC Yellow" 3m VQ #10599
- "RBC Royal Bank"
- White







SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

August 14, 2012

FILE: 12-00850

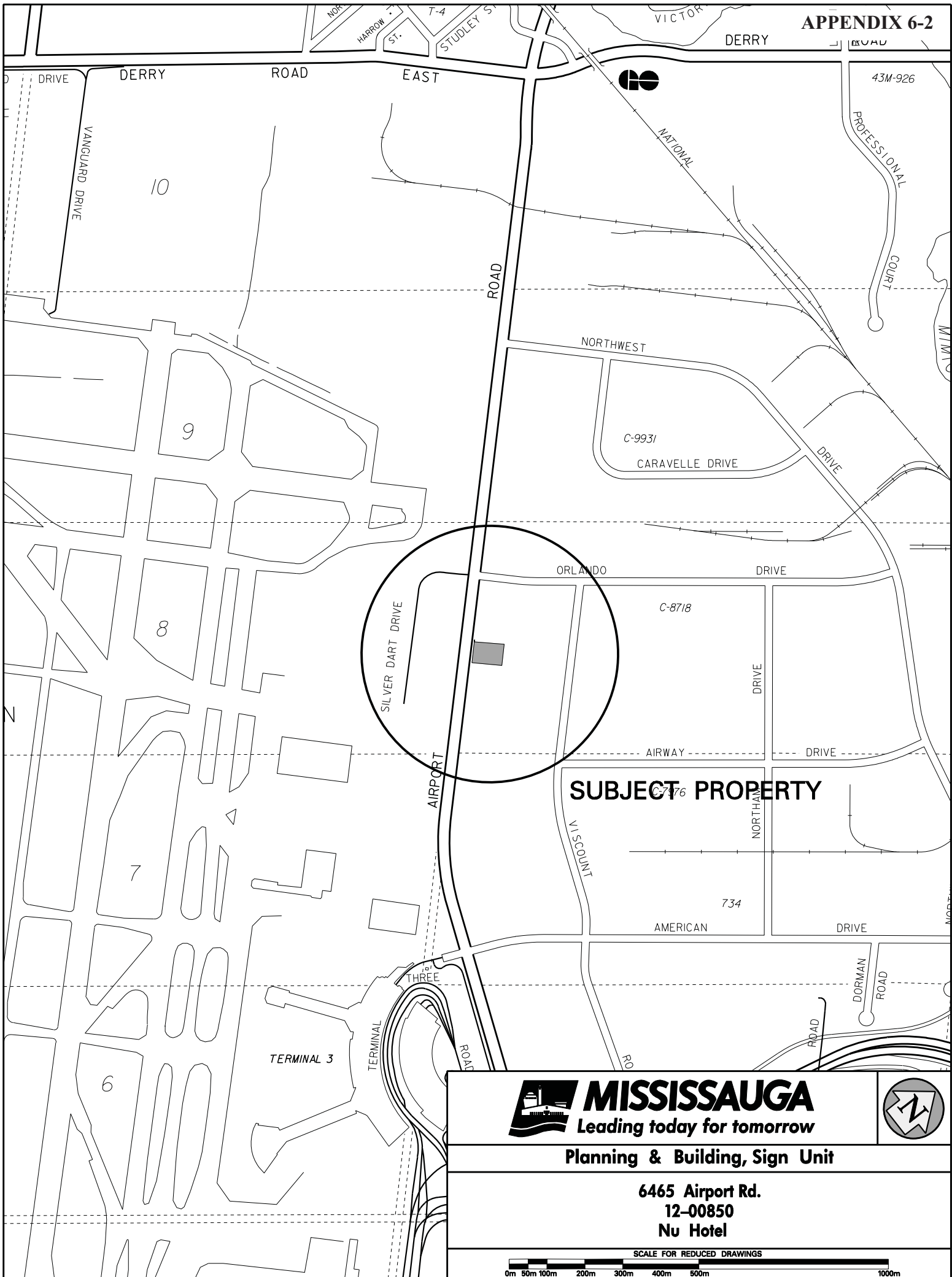
RE: Nu Hotel
6465 Airport Rd. – Ward 5

The applicant requests the following variance to Section 17 of the Sign By-law 0054-2002, as amended.

| Section 17 | Proposed |
|---------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------|
| A fascia sign shall be erected no higher than the upper limit of the first storey of a building. | Two (2) fascia signs on the second storey of the building. |
| A fascia sign for an office or hotel is permitted 20% of the building façade of the first storey of each occupancy. | One (1) fascia sign that is not affixed to a building façade, as defined in the Sign By-law. |

COMMENTS:

The proposed fascia signs identify the hotel business, which is located on the second floor of a two storey building. The proposed fascia sign on the south building façade is positioned to allow public driving along Airport Road to identify the building before passing the main site entrance. We note that this business is not included on the existing ground sign and needs the identification on Airport Road. The Planning and Building Department finds the requested variances acceptable from a design perspective.



MISSISSAUGA

Leading today for tomorrow



Planning & Building, Sign Unit

**6465 Airport Rd.
12-00850
Nu Hotel**



Date: May 22nd 2012

To City of Mississauga (Sign Dept)

Re; 6465 Airport Road NU Hotel
Application No. 1165

Our application for sign permit has gone to variance.

The premises has been zoned for Hotel Business. It is a 2 storey building.

It is very close to Pearson Airport and has a lot of traffic flow.

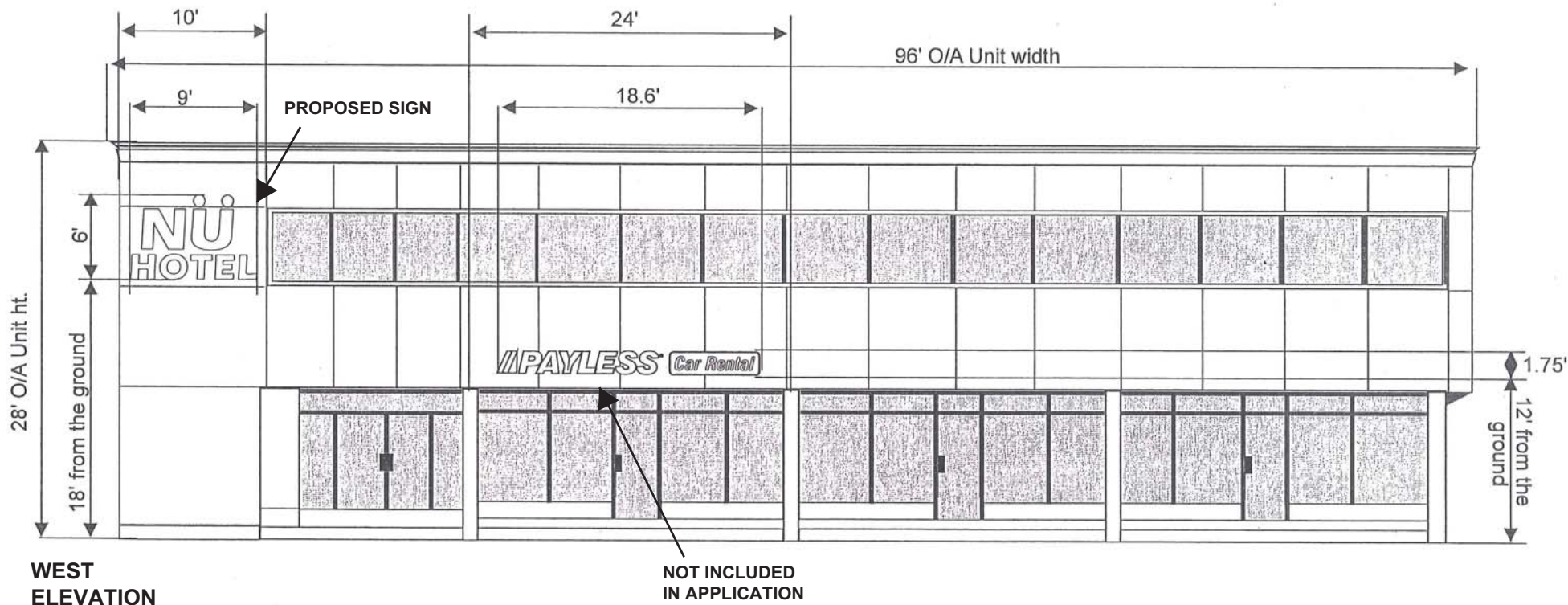
We need to have a sign on the building to advertise to make our business successful.

Your consideration in the above matter will be appreciated.

Yours sincerely,



Danny Mahal



R.S. Graphics Inc.
O/A Regency Signs & Printing

Tel.: 905-461-9502 • Cell: 416-520-0507 • Fax: 905-461-9428
 regency2000@rogers.com
 2585 Drew Rd., Unit 12, Mississauga, ON. L4T 1G1

CUSTOMER NAME: Mr. Raj Sood
 BUSINESS NAME: Payless Car Rental
 ADDRESS: 6465 Airport Rd.,
Mississauga, ON. L4V 1E4
 LOCATION: _____

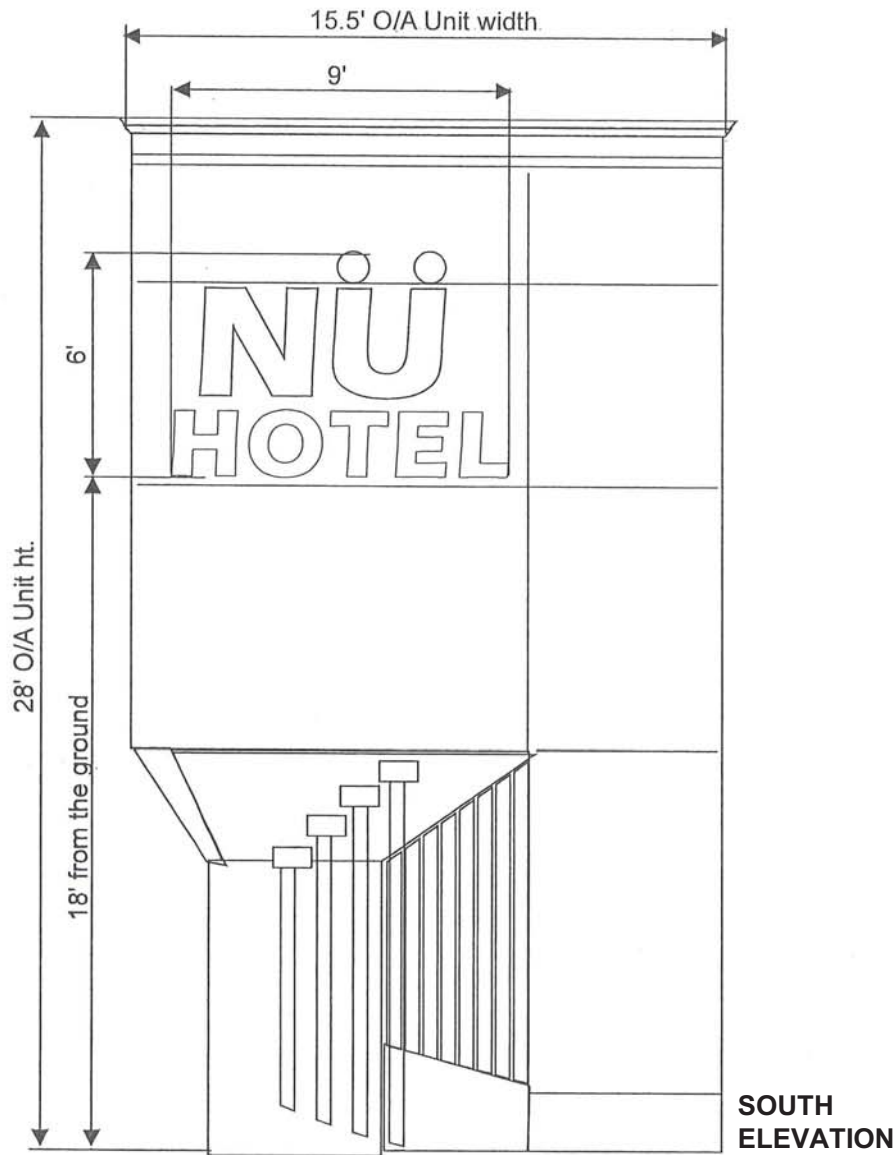
DATE: Dec 8, 2011
 Cell: 416.675.2000

CUSTOMER APPROVAL

X _____
 CUSTOMER SIGNATURE

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

DRAWING BY: DEV



R.S. Graphics Inc.
O/A Regency Signs & Printing

Tel.: 905-461-9502 • Cell: 416-520-0507 • Fax: 905-461-9420
 regency2000@rogers.com
 2585 Drew Rd., Unit 12, Mississauga, ON. L4T 1G1

CUSTOMER NAME Mr.
 BUSINESS NAME: Payless Car Rental
 ADDRESS: 6465 Airport Rd.,
Mississauga, ON. L4V 1E4
 LOCATION: _____

DATE: Dec 8, 2011
 Cell: 416.675.2000

CUSTOMER APPROVAL

X _____
 CUSTOMER SIGNATURE

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

DRAWING BY: DEV



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

August 14, 2012

FILE: 12-00550

RE: International Centre
6900 Airport Road – Ward 5

The applicant requests the following variance to Sections 4, 13 and 16 of the Sign By-law 0054-2002, as amended.

| Section 4(6) | Proposed |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Any sign not expressly permitted by this By-law is prohibited. | Eight (8) ground signs internal to the property with changing copy message board with an overall average height of 6.65m (21.82 ft). |
| Section 13 | Proposed |
| One (1) ground sign for each street line with a maximum sign area of 15.0 sq. m (161.46 sq. ft), a maximum height of 7.5m (24.61 ft) and a minimum street line setback of 1.0m (3.28 ft). | Two (2) ground signs fronting Airport Rd. each with a sign area of 27.18 sq. m (292.56 sq. ft) and a height of 8.92m (29.27 ft). The north sign is also encroaching onto the Regional Road allowance. |
| Section 16(4) | Proposed |
| The sign face of a ground sign may include a changing copy sign with a sign area not exceeding 50 percent of the sign face of the ground sign. | Two (2) ground signs each with a changing copy area of 73% of the sign area. |
| Section 16(5) | Proposed |
| A ground sign shall not be located within 3.0m (9.84 ft) of a driveway entrance or exit. | One (1) ground sign fronting Airport Rd. located 1.22m (4.0 ft) from a driveway entrance or exit. |

COMMENTS:

The proposed signs are to replace existing signs which were approved in 2001. The proposed signs are smaller in size than the existing and will be positioned in the same locations as existing signs. The signs will be utilizing the existing structure and sign bases, while incorporating energy efficient, eco friendly technologies. The signs are well designed and coordinated as part of a comprehensive sign package for the complex. In this regard, the Planning and Building Department finds the variance acceptable from a design perspective.

COMMENTS:

The proposed signs are to replace existing signs which were approved in 2001. The proposed signs are smaller in size than the existing and will be positioned in the same locations as existing signs. The signs will be utilizing the existing structure and sign bases, while incorporating energy efficient, eco friendly technologies. The signs are well designed and coordinated as part of a comprehensive sign package for the complex. In this regard, the Planning and Building Department finds the variance acceptable from a design perspective.

LARGE FORMAT PRINTING INSTALLATION – MAINTENANCE DIGITAL SIGNAGE CUSTOM FABRICATION



Media Resources Int'l Inc.
503 Carlingview Drive
Toronto, Ontario
Canada M9W 5H2

T 416.213.0993
F 416.213.9531

April 23, 2012

To,

Kelwin Hui
Plan Examiner, Building Division
City of Mississauga,
Mississauga

Dear Mr.Hui,

Subject: Variance application for modifications to signs at 6900 Airport Road

Reference: Permit application # 550, submitted on March 6, 2012

Proposed Signs Location: Existing North and South Entrance

Scope of work: Remove existing 59.49 Sq M aging message board and install 42.64 Sq M energy efficient LED message board and 11.70 Sq M illuminated sign box

Variance: 1.Proposed sign exceeds new 2002 sign bylaw, which allows 15 Sq face and 50% of 15 Sq M as message board

Rationale:

1. Proposed signs are permitted in 2001 and met the regulation applicable. Proposed scope of work is just retro fit aging and old style message board with light weight, energy efficient, eco friendly and user friendly signs. Proposed signs are smaller than existing and will not require any overhaul changes to existing structure. Meeting the regulation will need extensive structural modification to reduce the size and keep aesthetic of the signs.
2. Intended use of the proposed signs is business identification as well as directing public. Proposed use of the building as exhibition place and size of the building and large gathering of the public supports the requirement of big signs so that it can be visible from distance and can facilitate safe movement of public.
3. Proposed signs will not alter essential character of the premises, in fact it is consistent with essential character of the building, premises, surrounding and existing use of the building.
4. Proposed signs will not alter essential character of the area. It is consistent with the permitted use of the building
5. Proposed signs will not affect adjacent properties.
6. Proposed signs will not have any impact on public safety
7. Proposed signs are not expressly prohibited.

LARGE FORMAT PRINTING | INSTALLATION - MAINTENANCE | DIGITAL SIGNAGE | CUSTOM FABRICATION



Media Resources Int'l Inc.
 503 Carlingview Drive
 Toronto, Ontario
 Canada M9W 5H2

T 416.213.0993
 F 416.213.9531

8. Proposed signs are permitted sign types
9. Proposed signs will contribute to public place making and will enhance surrounding architectural context
10. Proposed signs will follow all regulation for message board and illuminated signs.
11. Proposed North Entrance

Variance: 2. Proposed North Entrance sign is encroaching city property

Rationale:

Sign at North Entrance is Grandfather sign and was permitted before current sign bylaw came into effect Variance requested is status quo for location of this sign

Proposed Signs Location: Existing sign at South Entrance parking lot A, existing sign at Derry Road entrance parking lot B, existing sign at north entrance parking lot C

Scope of work: Replace existing aging 1.45 Sq M illuminated sign box with exactly same size new sign box

Variance: Proposed signs are considered as incidental signs and not expressly permitted

Rationale:

1. Proposed signs are permitted in 2001 and met the regulation applicable. Proposed scope of work is just retro fit aging with exactly same size new sign 2. Intended use of the proposed signs is business identification as well as directing public. Proposed use of the building as exhibition place, size of the building and large gathering of the public supports the requirement of big signs so that it can be visible from distance and so can facilitate safe movement of public.
2. Proposed signs will not alter essential character of the premises, in fact it is in consistent with essential character of the building, premises, surrounding and existing use of the building.
3. Proposed signs will not alter essential character of the area. It is consistent with the permitted use of the building
4. Proposed signs will not affect adjacent properties.



Media Resources Int'l Inc.
503 Carlingview Drive
Toronto, Ontario
Canada M9W 5H2

T 416.213.0993
F 416.213.9531

5. Proposed signs will not have any impact on public safety
6. Proposed signs are not expressly prohibited.
7. Proposed signs types are permitted sign types
8. Proposed signs will contribute to public place making and will enhance surrounding architectural context (by removing old aging signs with new sign)
9. Proposed signs will follow all regulation for message board and illuminated signs.

Proposed Signs Location: Existing double sided sign at hall # 1, hall # 5 and hall # 6, single sided sign at hall # 3 and hall # 4

Scope of work: Remove existing 38.33 Sq M aging message board/ illuminated message board and install 29.11 Sq M energy efficient LED message board and illuminated sign box

Variance: Proposed signs are considered as incidental signs and not expressly permit, message board not permitted on incidental signs

Rationale:

1. Proposed signs are permitted in 2001 and met the regulation applicable. Proposed scope of work is just retro fit aging and old style message board/illuminated sign with light weight, energy efficient, eco friendly and user friendly signs. Proposed signs are smaller than existing and will not require any overhaul changes to existing structure. Meeting the regulation will need extensive structural modification to reduce the size and keep aesthetic of the signs.
2. Intended use of the proposed signs is information as well as directing public. Proposed use of the building as exhibition place, size of the building and large gathering of the public supports the requirement of proposed signs that can facilitate safe movement of public.
3. Proposed signs will not alter essential character of the premises, in fact it is in consistent with essential character of the building, premises, surrounding and existing use of the building.
4. Proposed signs will not alter essential character of the area. It is consistent with the permitted use of the building
5. Proposed signs will not affect adjacent properties.

LARGE FORMAT PRINTING

INSTALLATION • MAINTENANCE

DIGITAL SIGNAGE

CUSTOM FABRICATION



Media Resources Int'l Inc.
503 Carlingview Drive
Toronto, Ontario
Canada M9W 5H2

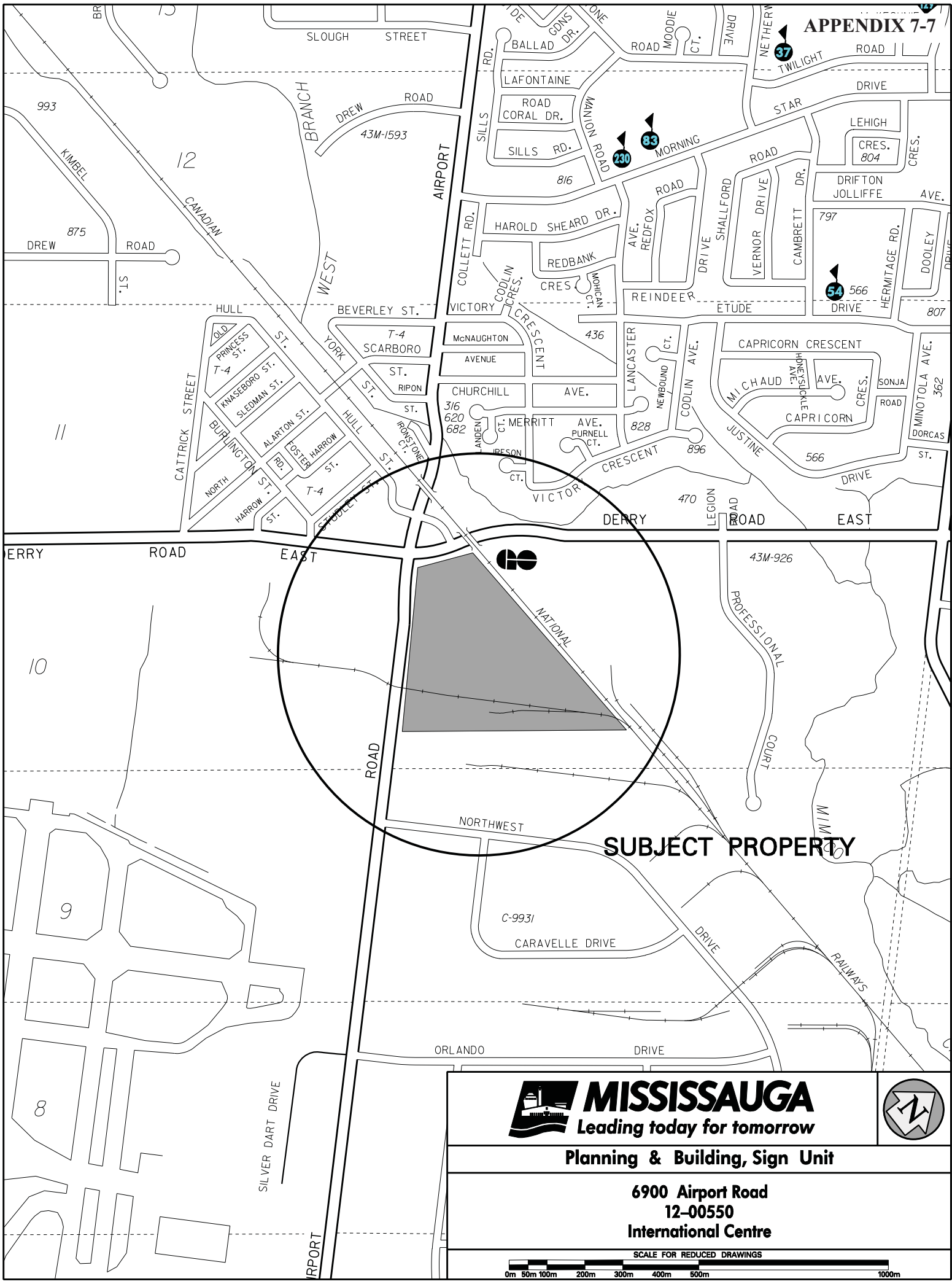
T 416.213.0993
F 416.213.9531

6. Proposed signs will not have any impact on public safety
7. Proposed signs are not expressly prohibited.
8. Proposed signs types are permitted sign types
9. Proposed signs will contribute to public place making and will enhance surrounding architectural context
10. Proposed signs will follow all regulation for message board and illuminated signs.

Regards

A handwritten signature in cursive script, appearing to read "Phil Bhojani".

(Bhojani, Phil)

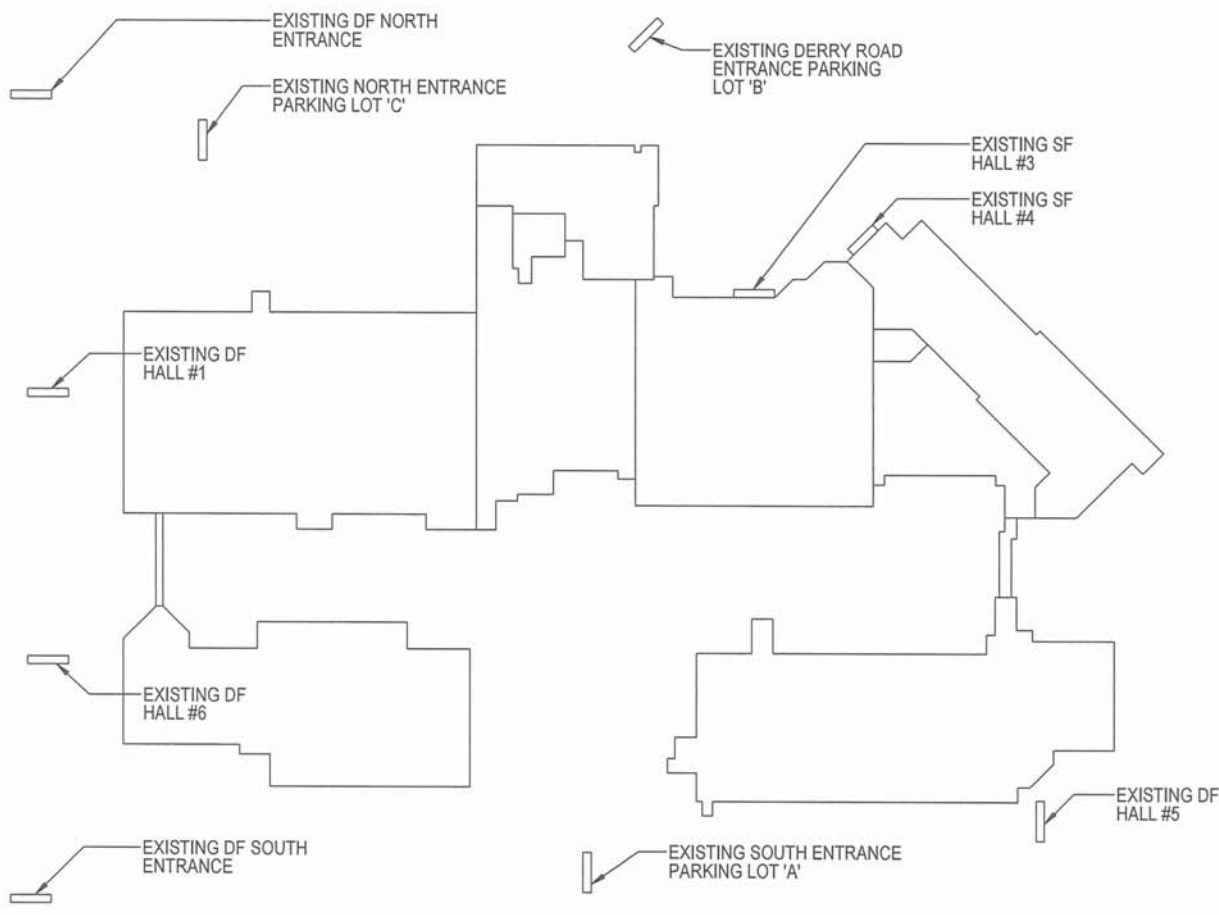


Planning & Building, Sign Unit



6900 Airport Road
12-00550
International Centre



DERRY ROAD



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|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------------------------------------------|--|
| UNLESS OTHERWISE SPECIFIED DO NOT SCALE DRAWING INTERPRET DIMENSIONS AND TOLERANCES PER ASME Y14.5M-1994 DIMENSIONS ARE IN INCHES TOLERANCES APPLY AS SHOWN BELOW 0 PL DEC 1 0.2 1 PL DEC 2 0.1 2 PL DEC 3 0.01 3 PL DEC 4 0.005 ANGLES 0.1° SURFACE ROUGHNESS 32 µ in | |  mediaresources ...solutions for the sign industry. | | MEDIA RESOURCES INTERNATIONAL 503 CARLINGVIEW DRIVE TORONTO, ONTARIO TEL: 1.800.667.4554 FAX: 1.416.213.9531 | |
|  | | CUSTOMER INTERNATIONAL CENTRE | | TITLE INTERNATIONAL CENTRE- MASTER SITE PLAN | |
| | | PROJECT EXTERIOR SIGNAGE RETROFIT | | | |
| THIRD ANGLE PROJECTION | | DRAWN BY ROBERT YORK | | DATE FEB 20, 2012 | |
| | | CHECKED BY DAVID COURNEYA | | DATE FEB 21, 2012 | |
| | | APPROVED DAVID COURNEYA | | DATE MAR 02, 2012 | |
| | | SIZE B | | DRAWING NO MASTER | |
| | | SCALE | | WEIGHT | |
| | | | | SHEET 1 OF 5 | |

DERRY ROAD



EXISTING DF
NORTH ENTRANCE

AIRPORT ROAD

EXISTING DF
SOUTH ENTRANCE

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PER ASME Y14.5M-1994

DIMENSIONS ARE IN INCHES

TOLERANCES APPLY AS SHOWN BELOW

| | |
|-------------------|---------|
| 0 PL DEC | ± 0.2 |
| 1 PL DEC | ± 0.1 |
| 2 PL DEC | ± 0.01 |
| 3 PL DEC | ± 0.005 |
| ANGLES | ± 1° |
| SURFACE ROUGHNESS | 32 µin |

THIRD ANGLE PROJECTION



CUSTOMER

INTERNATIONAL CENTRE

PROJECT

EXTERIOR SIGNAGE RETROFIT

DRAWN BY

ROBERT YORK

DATE

FEB 20, 2012

CHECKED BY

DAVID COURNEYA

DATE

FEB 21, 2012

APPROVED

DAVID COURNEYA

DATE

MAR 02, 2012

MEDIA RESOURCES INTERNATIONAL
503 CARLINGVIEW DRIVE TORONTO, ONTARIO
TEL: 1.800.667.4554 FAX: 1.416.213.9531

TITLE
**NORTH and SOUTH ENTRANCE -
EXISTING AND NEW PILON KEY PLAN**

SIZE

B

DRAWING NO

SCALE

1:55

WEIGHT

lbs

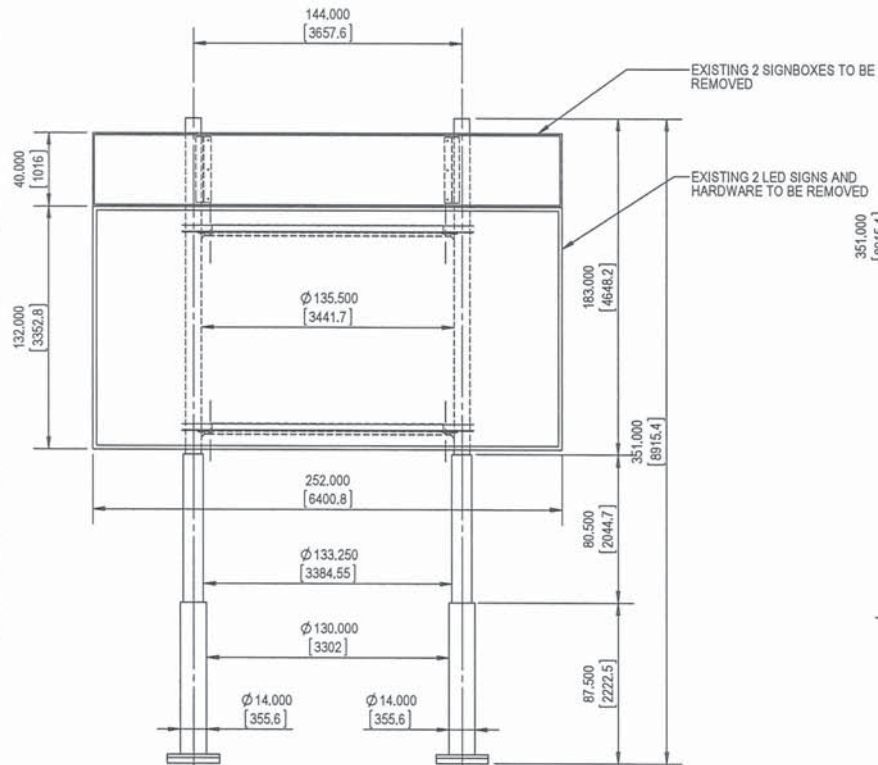
SHEET 1 OF 5



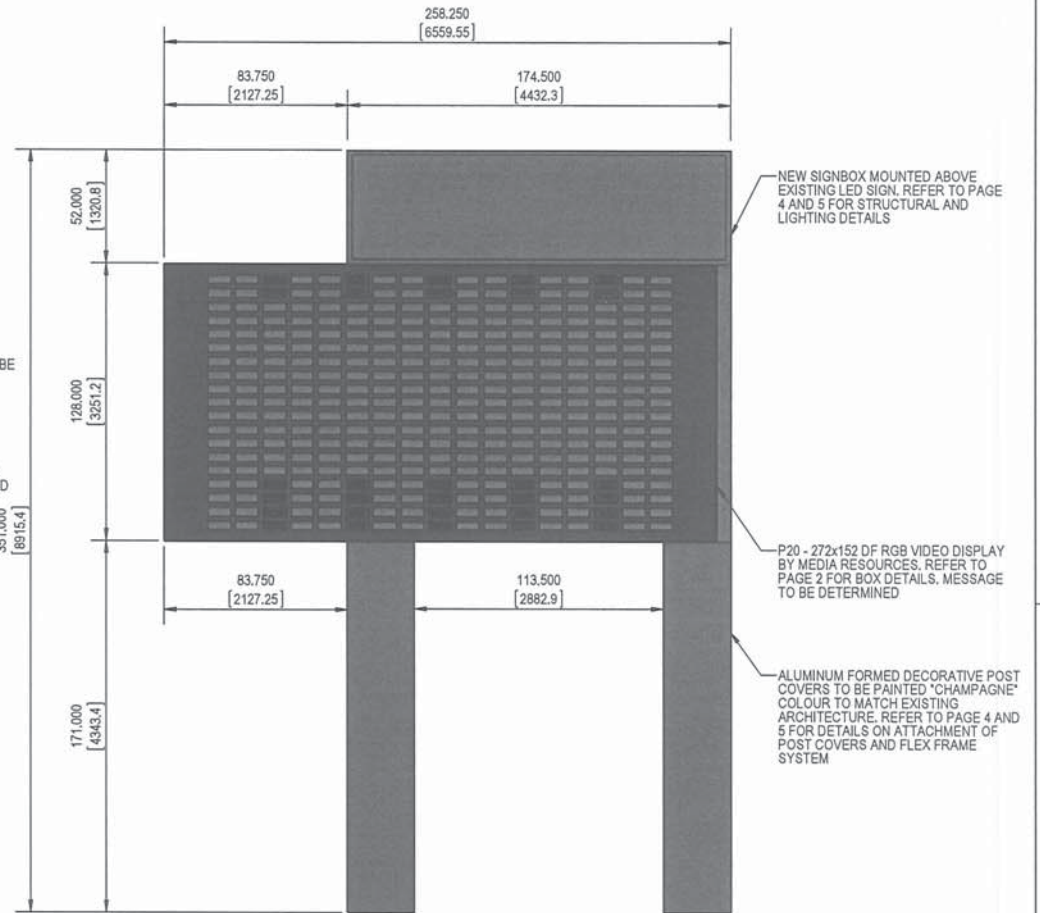
EXISTING NORTH ENTRANCE PILON



EXISTING SOUTH ENTRANCE PILON



EXISTING NORTH and SOUTH ENTRANCE DF PILON SIGNS



NEW NORTH and SOUTH ENTRANCE DF PILON SIGNS

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INTERPRET DIMENSIONS AND TOLERANCES
PER ASME Y14.5M-1994

DIMENSIONS ARE IN INCHES

TOLERANCES APPLY AS SHOWN BELOW

0 PL DEC ± 0.2
1 PL DEC ± 0.1
2 PL DEC ± 0.05
3 PL DEC ± 0.005
ANGLES ± 1°
SURFACE ROUGHNESS 32 μ in

THIRD ANGLE PROJECTION



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...solutions for the sign industry.

CUSTOMER
INTERNATIONAL CENTRE

PROJECT
EXTERIOR SIGNAGE RETROFIT

DRAWN BY
ROBERT YORK

CHECKED BY
DAVID COURNEYA

APPROVED
DAVID COURNEYA

DATE
FEB 20, 2012

DATE
FEB 21, 2012

DATE
MAR 02, 2012

MEDIA RESOURCES INTERNATIONAL
503 CARLINGVIEW DRIVE TORONTO, ONTARIO
TEL: 1.800.667.4554 FAX: 1.416.213.9531

**NORTH and SOUTH ENTRANCE -
EXISTING AND NEW PILON**

SIZE **B** DRAWING NO. **MW12029A** REVISION

SCALE 1:55 WEIGHT lbs SHEET 2 OF 5

DERRY ROAD



EXISTING DF
HALL #1

AIRPORT ROAD

EXISTING DF
HALL #6

EXISTING DF
HALL #5

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PER ASME Y14.5M-1994

DIMENSIONS ARE IN INCHES
TOLERANCES APPLY AS SHOWN BELOW
0 PL DEC ± 0.5
1 PL DEC ± 0.1
2 PL DEC ± 0.01
3 PL DEC ± 0.005
ANGLES ± 1°
SURFACE ROUGHNESS 32 µ in

THIRD ANGLE PROJECTION



OUTDOOR
INTERNATIONAL CENTRE

PROJECT
EXTERIOR SIGNAGE RETROFIT

DRAWN BY
ROBERT YORK
DATE
FEB 20, 2012
CHECKED BY
DAVID COURNEYA
DATE
FEB 21, 2012
APPROVED
DAVID COURNEYA
DATE
MAR 02, 2012

MEDIA RESOURCES INTERNATIONAL
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TITLE
**HALL 1,5 and 6 - EXISTING AND
NEW PILON KEY PLAN**

| | | |
|------------------|--------------------------------|----------------------|
| SIZE B | DRAWING NO. MW12032A | REVISION - |
| SCALE 1:50 | WEIGHT lbs | SHEET 1 OF 5 |



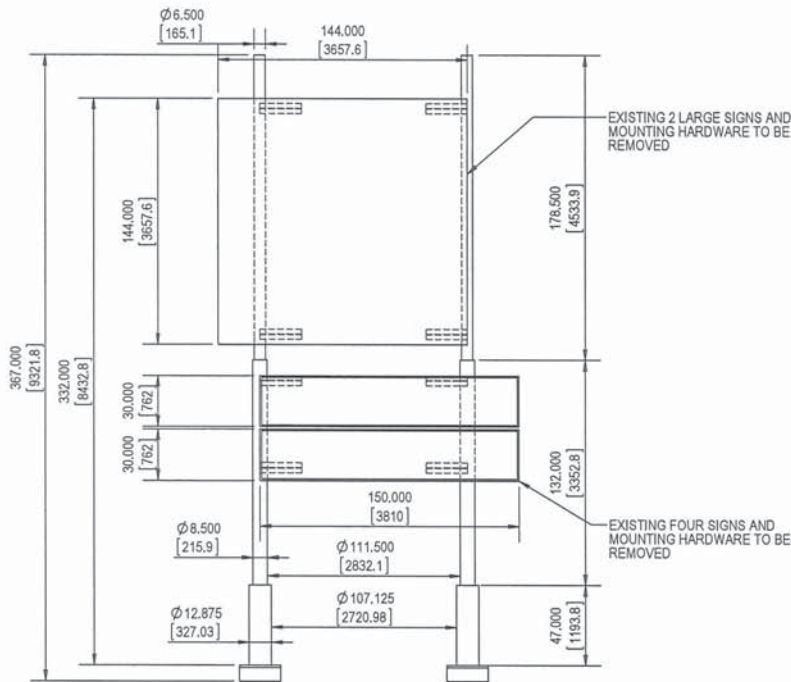
EXISTING DF HALL #1



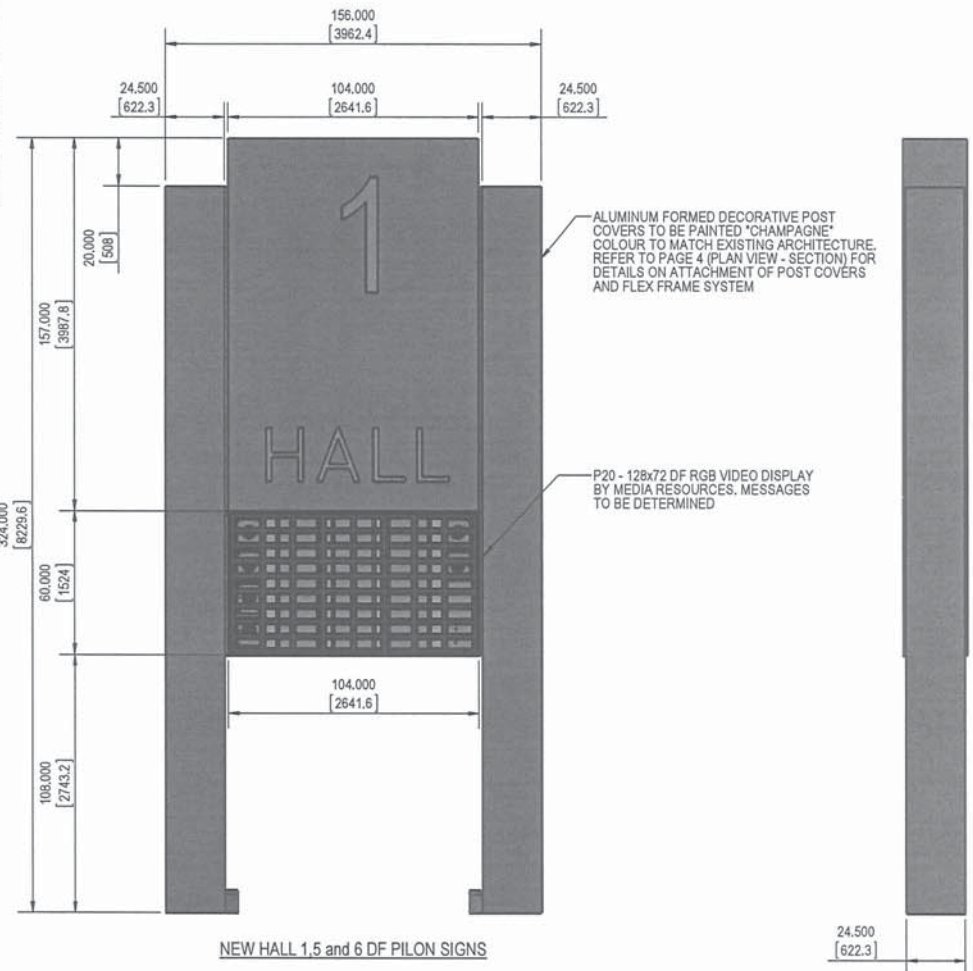
EXISTING DF HALL #5



EXISTING DF HALL #6



EXISTING HALL 1, 5 and 6 DF PILON SIGNS



NEW HALL 1, 5 and 6 DF PILON SIGNS

ALUMINUM FORMED DECORATIVE POST COVERS TO BE PAINTED 'CHAMPAGNE' COLOUR TO MATCH EXISTING ARCHITECTURE. REFER TO PAGE 4 (PLAN VIEW - SECTION) FOR DETAILS ON ATTACHMENT OF POST COVERS AND FLEX FRAME SYSTEM

P20 - 128x72 DF RGB VIDEO DISPLAY BY MEDIA RESOURCES. MESSAGES TO BE DETERMINED

| | | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|------------------------------------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------------------|--|
| <p>UNLESS OTHERWISE SPECIFIED</p> <p>DO NOT SCALE DRAWING</p> <p>INTERPRET DIMENSIONS AND TOLERANCES PER ASME Y14.5M-1994</p> <p>DIMENSIONS ARE IN INCHES</p> <p>TOLERANCES APPLY AS SHOWN BELOW</p> <p>0 PL DEC ±0.2</p> <p>1 PL DEC ±0.1</p> <p>2 PL DEC ±0.01</p> <p>3 PL DEC ±0.005</p> <p>ANGLES 0.1°</p> <p>SURFACE ROUGHNESS 32 µin</p> | | <p>mediaresources</p> <p>...solutions for the sign industry.</p> | | <p>MEDIA RESOURCES INTERNATIONAL</p> <p>503 CARLINGVIEW DRIVE TORONTO, ONTARIO</p> <p>TEL: 1.800.667.4554 FAX: 1.416.213.9531</p> | |
| <p>CUSTOMER</p> <p>INTERNATIONAL CENTRE</p> | | <p>PROJECT</p> <p>EXTERIOR SIGNAGE RETROFIT</p> | | <p>TITLE</p> <p>HALL 1, 5 and 6 - EXISTING AND NEW PILON</p> | |
| <p>THIRD ANGLE PROJECTION</p> | | <p>DATE</p> <p>FEB 20, 2012</p> | | <p>REVISION</p> | |
| <p>CHECKED BY</p> <p>DAVID COURNEYA</p> | | <p>DATE</p> <p>FEB 21, 2012</p> | | <p>SIZE</p> <p>B</p> | |
| <p>APPROVED</p> <p>DAVID COURNEYA</p> | | <p>DATE</p> <p>MAR 02, 2012</p> | | <p>SCALE</p> <p>1:50</p> | |
| | | | | <p>WEIGHT</p> <p>lbs</p> | |
| | | | | <p>SHEET 2 OF 5</p> | |

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DERRY ROAD



EXISTING DERRY ROAD
ENTRANCE PARKING
LOT 'B'

EXISTING NORTH
ENTRANCE PARKING
LOT 'C'

AIRPORT ROAD

EXISTING SOUTH
ENTRANCE PARKING
LOT 'A'

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PER ASME Y14.5M-1994
DIMENSIONS ARE IN INCHES
TOLERANCES APPLY AS SHOWN BELOW

| | |
|-------------------|---------|
| 0 PL DEC | ± 0.2 |
| 1 PL DEC | ± 0.1 |
| 2 PL DEC | ± 0.01 |
| 3 PL DEC | ± 0.005 |
| ANGLES | ± 1° |
| SURFACE ROUGHNESS | 32 µ in |

THIRD ANGLE PROJECTION



CUSTOMER
INTERNATIONAL CENTRE

PROJECT
EXTERIOR SIGNAGE RETROFIT

| | |
|------------------------------|----------------------|
| DRAWN BY ROBERT YORK | DATE FEB 20, 2012 |
| CHECKED BY DAVID COURNEYA | DATE FEB 21, 2012 |
| APPROVED DAVID COURNEYA | DATE MAR 02, 2012 |

MEDIA RESOURCES INTERNATIONAL
503 CARLINGVIEW DRIVE TORONTO, ONTARIO
TEL: 1.800.667.4554 FAX: 1.416.213.9531

| TITLE | | | |
|--------------------------------------------------------|------------|-----------------|--|
| EXISTING PARKING LOT SIGNS A, B, C KEY PLAN | | | |
| SIZE | DRAWING NO | REVISION | |
| B | | MW12038A | |
| SCALE | WEIGHT | SHEET 1 OF 4 | |



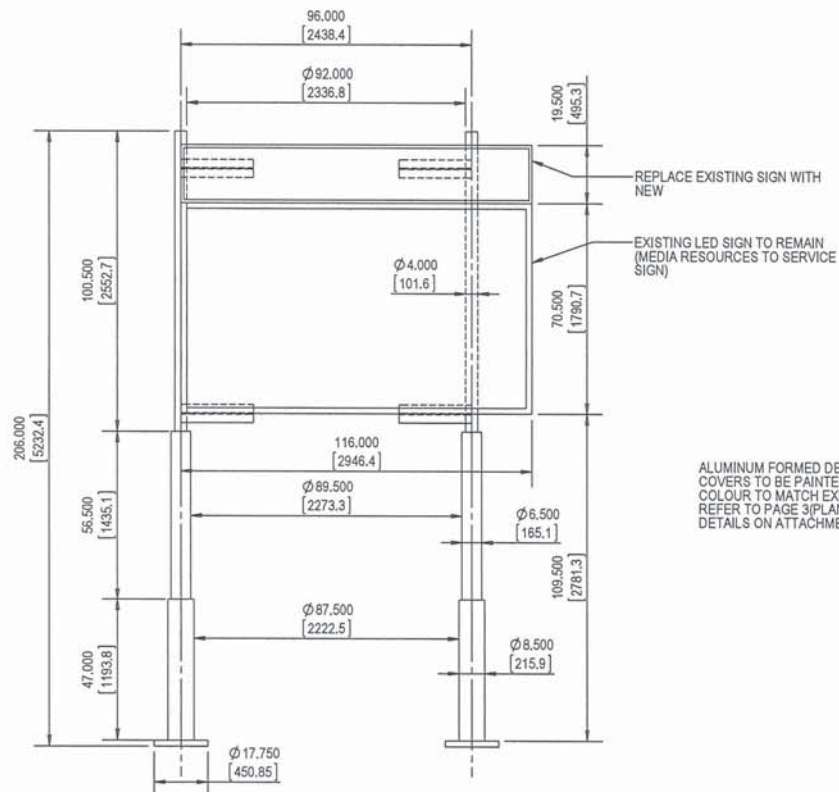
EXISTING NORTH ENTRANCE PARKING LOT 'C'



EXISTING DERRY ROAD ENTRANCE PARKING LOT 'B'

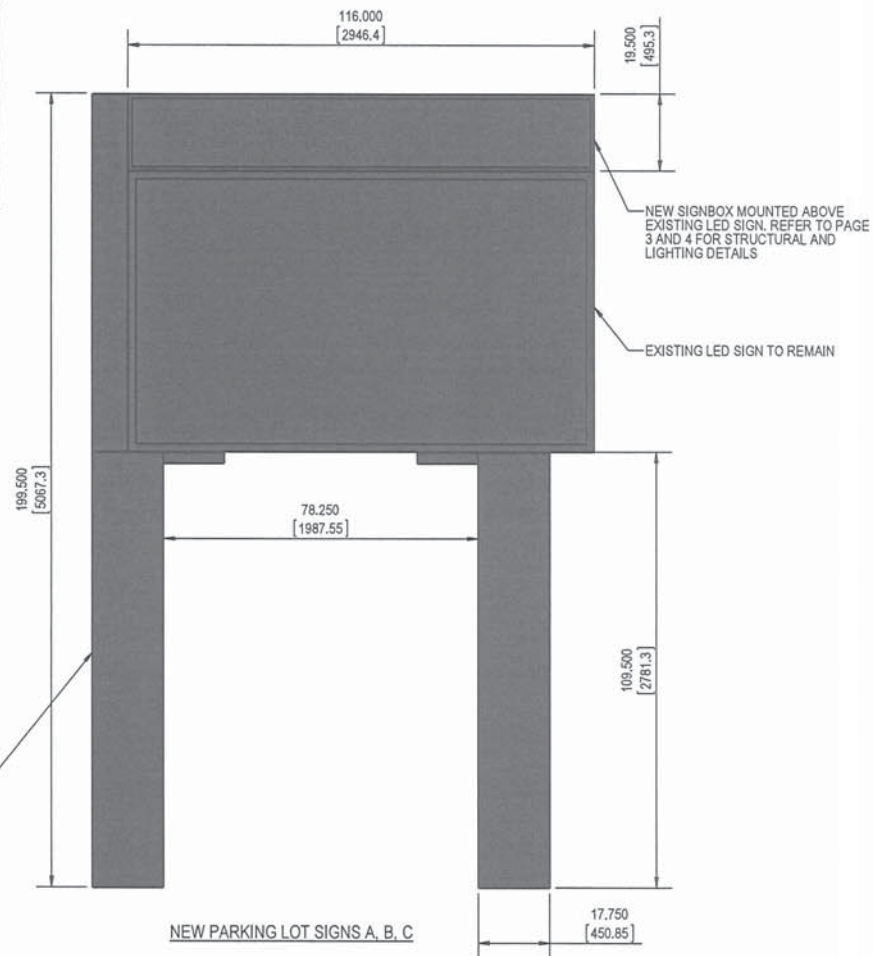


EXISTING SOUTH ENTRANCE PARKING LOT 'A'



EXISTING PARKING LOT SIGNS A, B, C

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NEW PARKING LOT SIGNS A, B, C

UNLESS OTHERWISE SPECIFIED
DO NOT SCALE DRAWING
INTERPRET DIMENSIONS AND TOLERANCES
PER ASME Y14.5M-1994
DIMENSIONS ARE IN INCHES
TOLERANCES APPLY AS SHOWN BELOW

3 PL DEC ± 0.2
1 PL DEC ± 0.1
2 PL DEC ± 0.01
3 PL DEC ± 0.005
ANGLES ± 1°
SURFACE ROUGHNESS 32 μ in

THIRD ANGLE PROJECTION



CUSTOMER
INTERNATIONAL CENTRE

PROJECT
EXTERIOR SIGNAGE RETROFIT

DRAWN BY
ROBERT YORK

CHECKED BY
DAVID COURNEYA

APPROVED
DAVID COURNEYA

DATE
FEB 20, 2012

DATE
FEB 21, 2012

DATE
MAR 02, 2012

MEDIA RESOURCES INTERNATIONAL
503 CARLINGVIEW DRIVE TORONTO, ONTARIO
TEL: 1.800.667.4554 FAX: 1.416.213.9531

EXISTING PARKING LOT
SIGNS A, B, C

SIZE
B

SCALE
1:40

WEIGHT
lbs

SHEET 2 OF 4

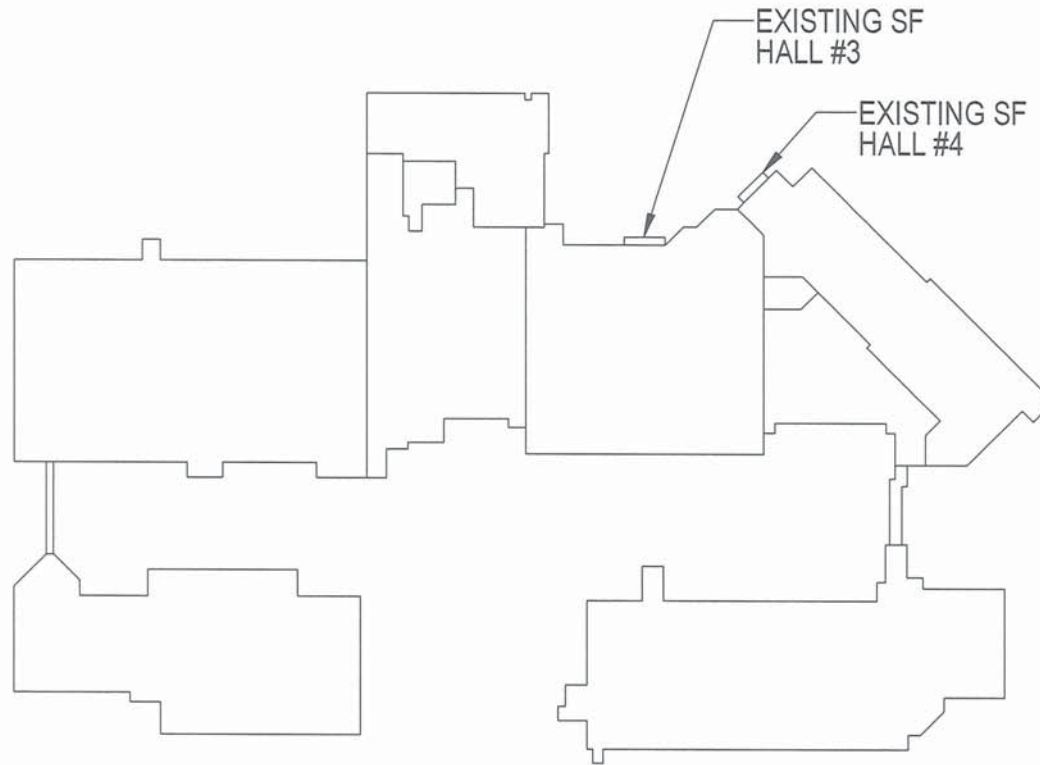
REVISION

MW12038A

DERRY ROAD



AIRPORT ROAD



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UNLESS OTHERWISE SPECIFIED

DO NOT SCALE DRAWING
INTERPRET DIMENSIONS AND TOLERANCES
PER ASME Y14.5M-1994
DIMENSIONS ARE IN INCHES
TOLERANCES APPLY AS SHOWN BELOW

| | |
|-------------------|---------|
| 0 PL DEC | ± 0.2 |
| 1 PL DEC | ± 0.1 |
| 2 PL DEC | ± 0.05 |
| 3 PL DEC | ± 0.005 |
| ANGLES | ± 1° |
| SURFACE ROUGHNESS | 32 µ in |

THIRD ANGLE PROJECTION



CUSTOMER
INTERNATIONAL CENTRE

PROJECT
EXTERIOR SIGNAGE RETROFIT

| | |
|-------------------------------|----------------------|
| DESIGNED BY ROBERT YORK | DATE FEB 20, 2012 |
| CHECKED BY DAVID COURNEYA | DATE FEB 21, 2012 |
| APPROVED BY DAVID COURNEYA | DATE MAR 02, 2012 |

MEDIA RESOURCES INTERNATIONAL
503 CARLINGVIEW DRIVE TORONTO, ONTARIO
TEL: 1.800.667.4554 FAX: 1.416.213.9531

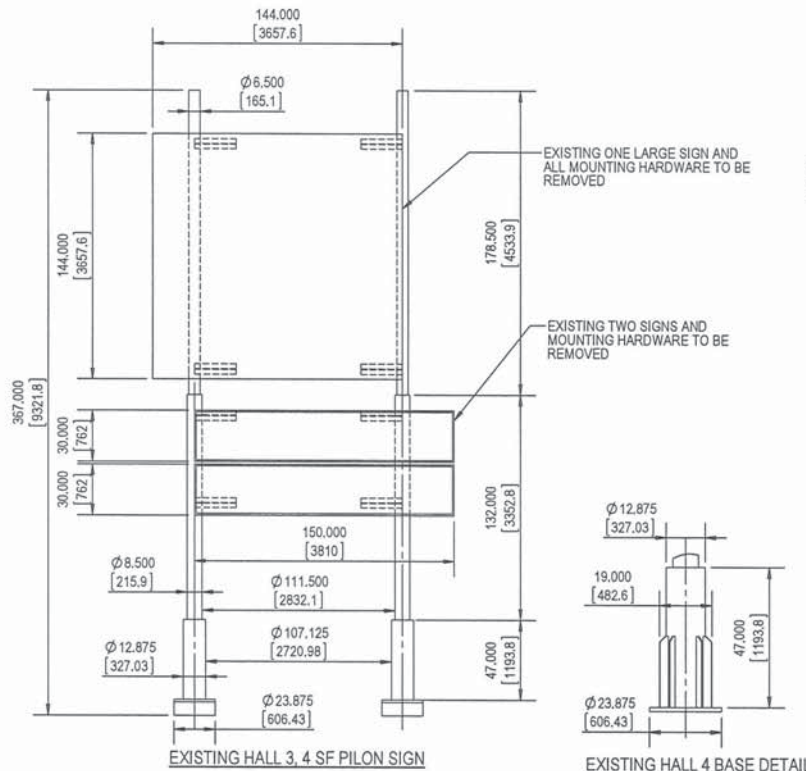
**HALL 3 and 4 - EXISTING AND
NEW PILON KEY PLAN**

| | | | |
|-------|----------|--------------|-----------------|
| TITLE | SIZE | DRAWING NO | REVISION |
| | B | | MW12025A |
| SCALE | HEIGHT | SHEET 1 OF 5 | |

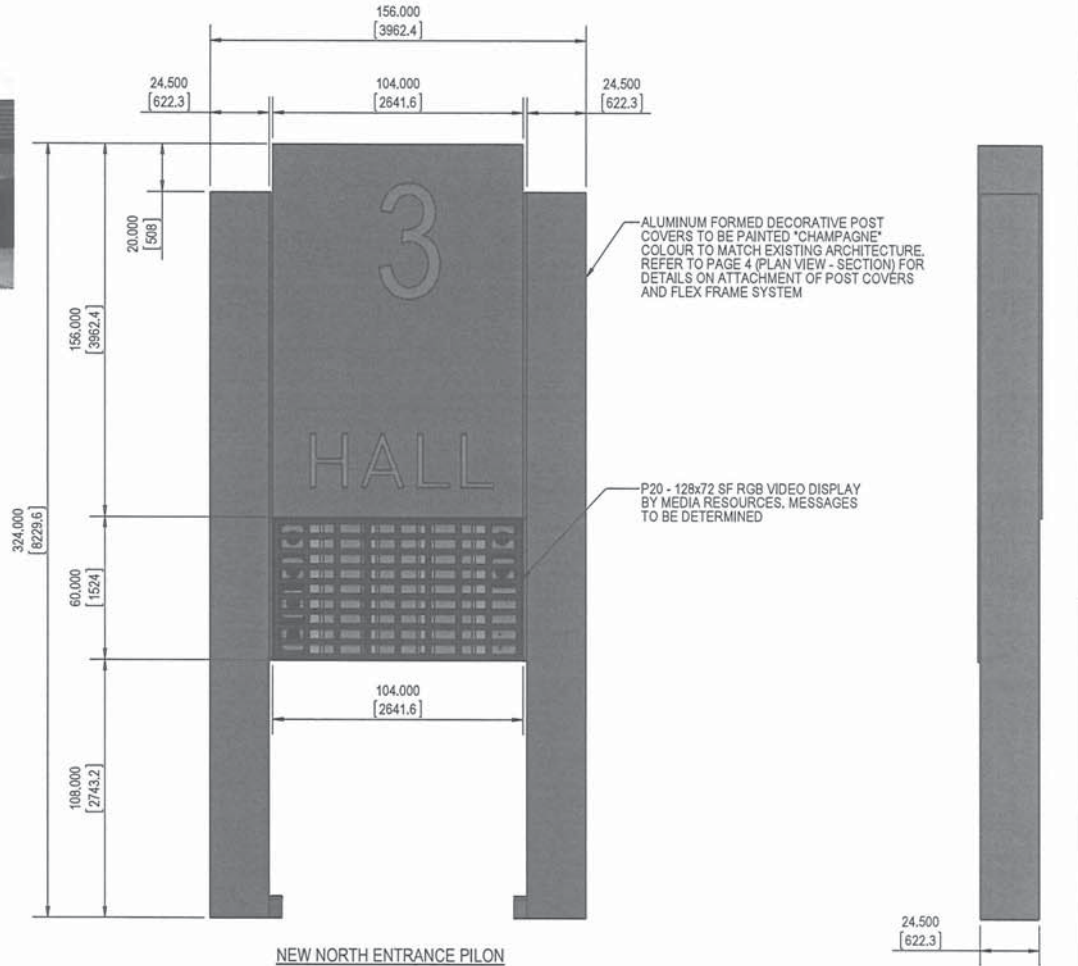


EXISTING SF HALL #3

EXISTING SF HALL #4



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UNLESS OTHERWISE SPECIFIED
DO NOT SCALE DRAWING
INTERPRET DIMENSIONS AND TOLERANCES
PER ASME Y14.5M-1994
DIMENSIONS ARE IN INCHES
TOLERANCES APPLY AS SHOWN BELOW

0 PL DEC ± 0.2
1 PL DEC ± 0.1
2 PL DEC ± 0.01
3 PL DEC ± 0.005
ANGLES 2°-1°
SURFACE ROUGHNESS 32 µin

THIRD ANGLE PROJECTION



CUSTOMER
INTERNATIONAL CENTRE

PROJECT
EXTERIOR SIGNAGE RETROFIT

DRAWN BY
ROBERT YORK
CHECKED BY
DAVID COURNEYA
APPROVED
DAVID COURNEYA

DATE
FEB 20, 2012
DATE
FEB 21, 2012
DATE
MAR 02, 2012

MEDIA RESOURCES INTERNATIONAL
503 CARLINGVIEW DRIVE TORONTO, ONTARIO
TEL: 1.800.667.4554 FAX: 1.416.213.9531

**HALL 3 and 4 - EXISTING AND
NEW PILON**

SIZE
B
SCALE
1:50

DRAWING NO.
WEIGHT
lbs

REVISION
MW12025A

SHEET 2 OF 5



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

August 14, 2012

FILE: 12-01217

RE: Toronto International Academy
1140 Burnhamthorpe Rd. W. – Ward 6

The applicant requests the following variance to Sections 13 and 17(3) of the Sign By-law 0054-2002, as amended.

| Section 13 | Proposed |
|--------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|
| A fascia sign shall be attached an exterior wall of the unit occupied by the business. | One (1) fascia sign not located on an exterior wall occupied by the business. |
| Section 17(3) | Proposed |
| A fascia sign shall be erected no higher than the upper limit of the first storey of a building. | One (1) fascia sign to be located on the second storey of a building. |

COMMENTS:

The proposed variance is for a fascia sign located above the second floor of a two storey building but not located on their unit. A variance was previously granted to a tenant of the adjacent building for a similar sign as proposed. The design and location of the sign is in keeping with the building design and therefore acceptable from a design perspective.

BURMAVE DEVELOPMENTS

720-780 Burnhamthorpe Rd. West, Mississauga, ON. C/o: 700 Applewood Crescent, Suite 100, Vaughan
On. Phone: 416-987-6800. Fax: 416-987-6810.

June 6, 2012

Gary Mosca
Property Manager
Burmave Developments
416-987-6800 x 7619

To: Whom it may concern

Re: Permit Application # SGN BLD 12 1217 VAR

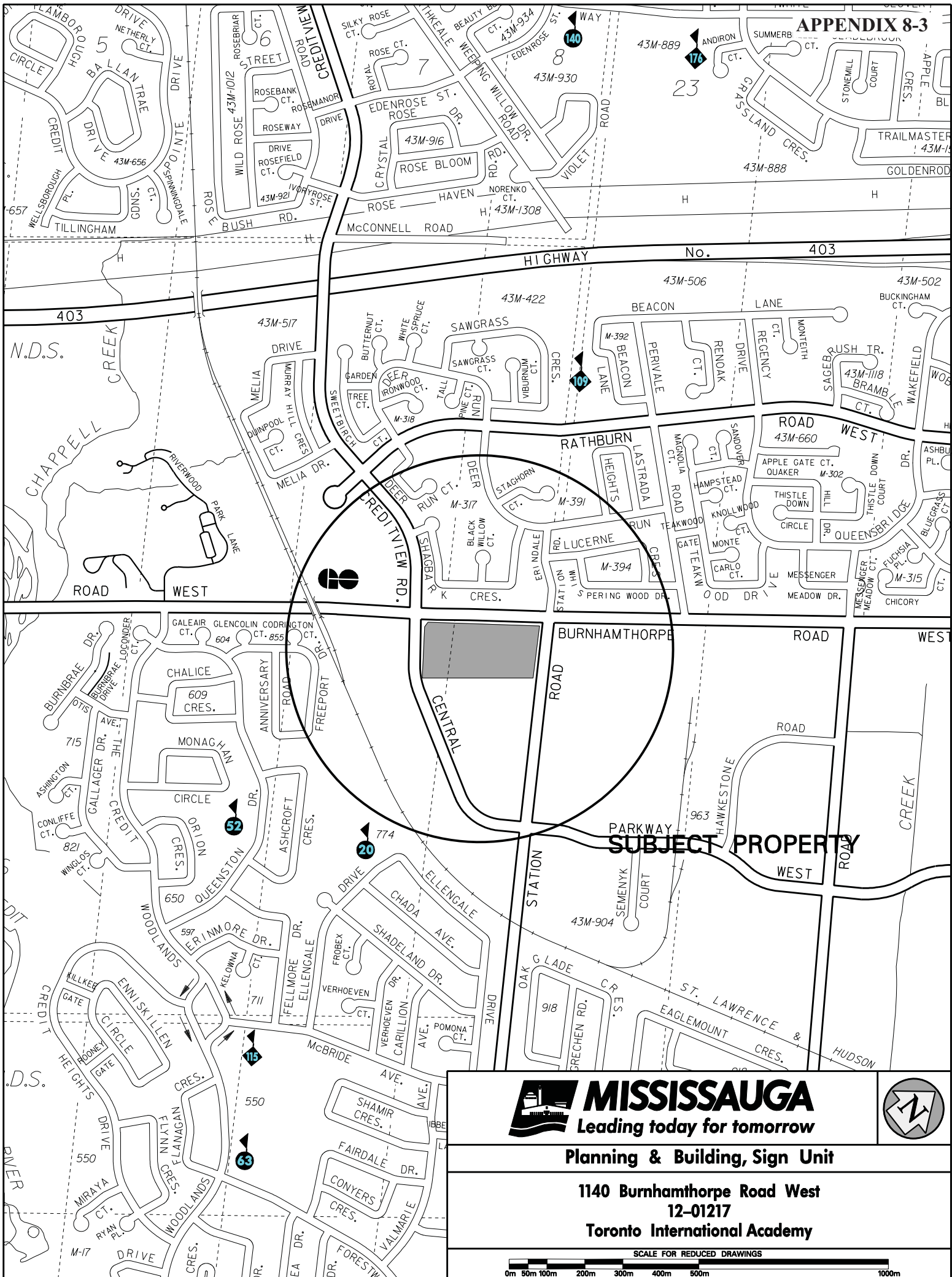
Dear Sir,

The Sign Factory Plus Inc. has submitted an application for a sign permit for our tenant, Toronto International Academy, located at 1140 Burnhamthorpe Road West, Suite 223, Mississauga. Due to the placement of the sign on the second floor of the building, a variance was also required. This tenant has decided to proceed with the variance, as they are very much in need of exposure for their business. Since all of the tenants on the ground floor occupy the entire sign band that is presently in place, there is nowhere for the second floor tenants, like T.I.A to identify themselves. We hope that by applying for the sign variance you will make an exception for my tenant to install a sign that is aesthetically consistent with the existing 2nd floor signs that are presently located on our property. I hope you will consider my request.
Looking forward to hearing from you regarding this matter.

Sincerely,



Gary Mosca, Property Manager



MISSISSAUGA
Leading today for tomorrow



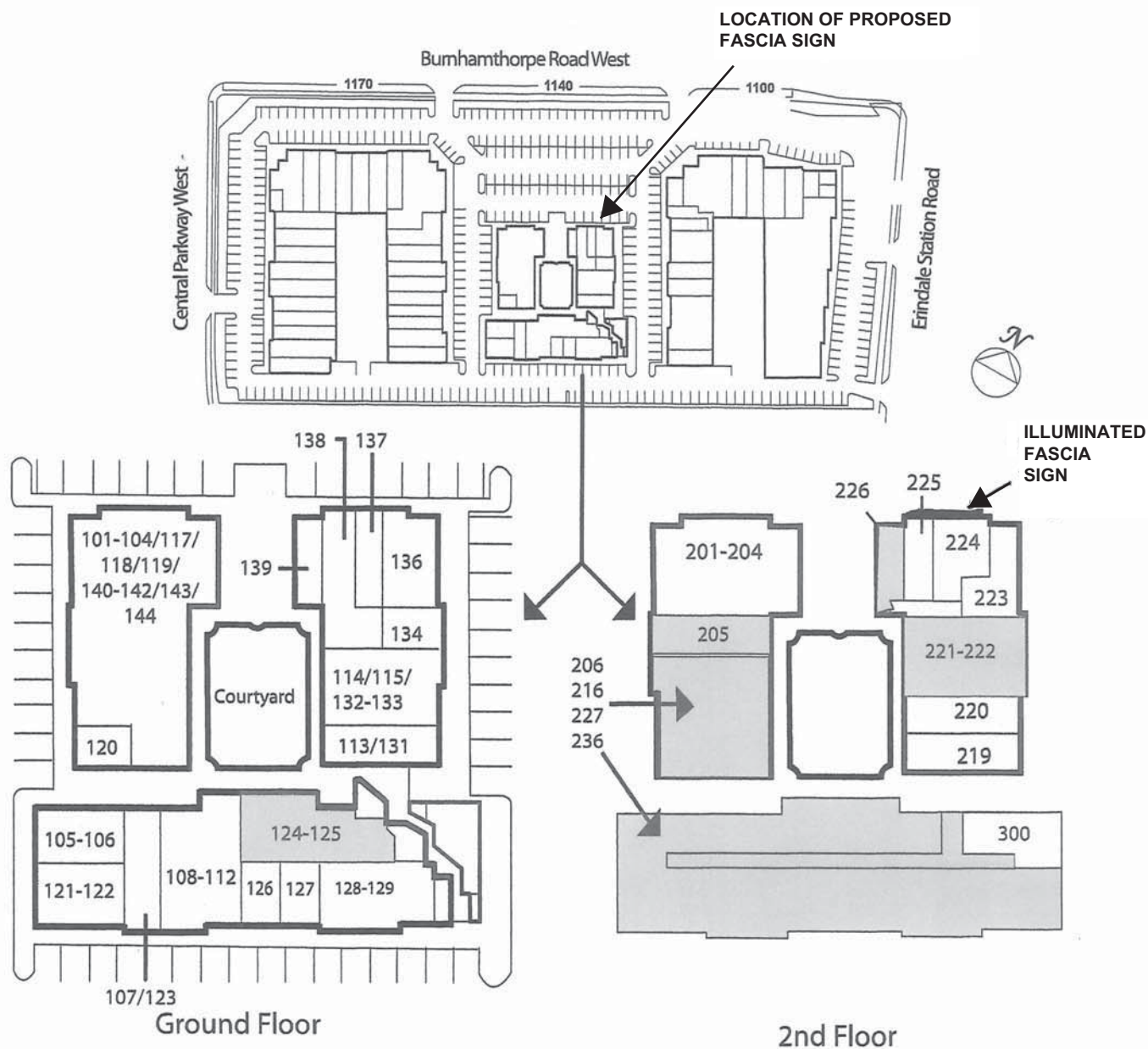
Planning & Building, Sign Unit

**1140 Burnhamthorpe Road West
12-01217**

Toronto International Academy

SCALE FOR REDUCED DRAWINGS





MISSISSAUGA (1140), ON BURNHAMTHORPE RD W & CENTRAL PARKWAY W

GROUND FLOOR:

101-104, 117, 118,
119, 140-142, 143,
144, Remax Performance
105-106, Urttech Engineering
107-123, European Massage
108-112, Royal School of Canada
115-119, Dr. DeSouza
120, Stephen Chu
121-122, Top Class Education
124-125, Vacant
126, YTB Travel Network
127, Drive Wise
128-129, Victoria Inn School
136, Dr. Ozanic
137, The UPS Store
139, Amazing Optical
113-131, Learning Paradise
114, 115, 132,
133, State Farm Insurance
134-138, Listen Up Canada!

2ND FLOOR:

201-204, Evergreen Cottage
205, Vacant
206-216-227-236, Vacant
300, Disank Management
219, Via Musica
220, Samuel Eng & Associates
221-222, Vacant
223-224, Toronto International
Academy
225, Global Educational Products
226, Vacant

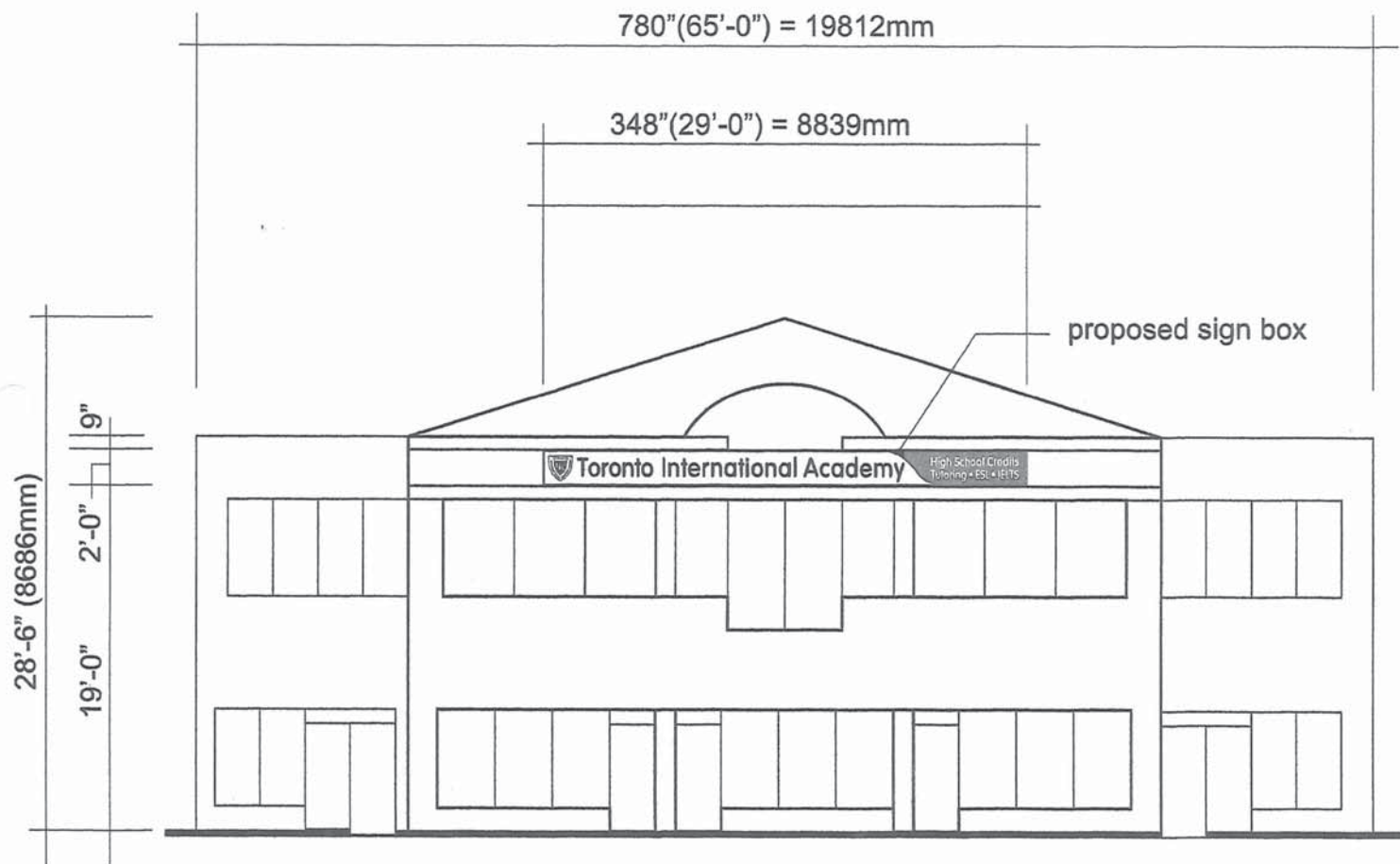
Ⓐ Anchor Tenant

★ Site Location

○ Currently Available Space



RUDY MASCI
Manager, Leasing
Tel: 416-987-6800 x7890
Email: rmasci@smartcentres.com



Elevation



905-281-0870

720 Burnhamthorpe Rd. W
Unit # 18
Mississauga, ON L5C 3G1

Site Plan

Project

Customer

Drawing Title

| | |
|-------------|----------------|
| Drawn by | K.H. |
| Scale | As Shown |
| Date | April 20, 2012 |
| Drawing No. | SIGNFAC-02 |



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

August 14, 2012

FILE: 12-01014

RE: GoodLife Fitness
6875 Meadowvale Town Centre Circle - Ward 9

The applicant requests the following variance to section 17(3) of the Sign By-law 0054-2002, as amended.

| Section 17(3) | Proposed |
|--------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------|
| A fascia sign shall be erected no higher than the upper limit of the first storey of a building. | Three (3) fascia signs to be erected on the second storey of the building. |

COMMENTS:

This fitness facility is replacing a previous fitness facility. The proposed signs are positioned on the second storey of a two storey building to allow customers to easily identify the new business from a distance. The proposed corporate identification is proportional with the building façade. The Planning and Building Department find the variance acceptable from a design perspective.



May 24, 2012

City of Mississagua
300 City Centre Drive
Mississauga, ON L5B 3C1

Re: Letter of Rationale for GoodLife Fitness (GLF) signs at 6677 Meadowvale Drive
in Mississagua

To whom it may concern,

We are having to apply for a variance for the signs at Meadowvale, because we have placed them on the second story of the building.

Our reasoning for placing the signs on the second storey of the building are as follows:

1. In order to be seen from any distance the sign is best on the second story.
2. Having a large sign on the second story helps to distinguish that there is a new fitness club that is now open at this location, it is not a "Premier Fitness" any more.
3. There is no other signs going on the building, GLF is the sole business in the building - therefore it brands the building as GLF from top to bottom.
4. GLF's corporate logo has two layouts a stacked or a horizontally version. STACKED version - if placed on the first story and lower the sign can be easily vandalized. HORIZONTAL version on the front of the building the letters will appear very small, with little or no impact to entice business growth.
5. The sign on the second storey looks very proportionate to the building and compliments the decor of the exterior.
6. It is in GoodLife's Corporate look to have a sign on the highest point of the building and as large as allowed.

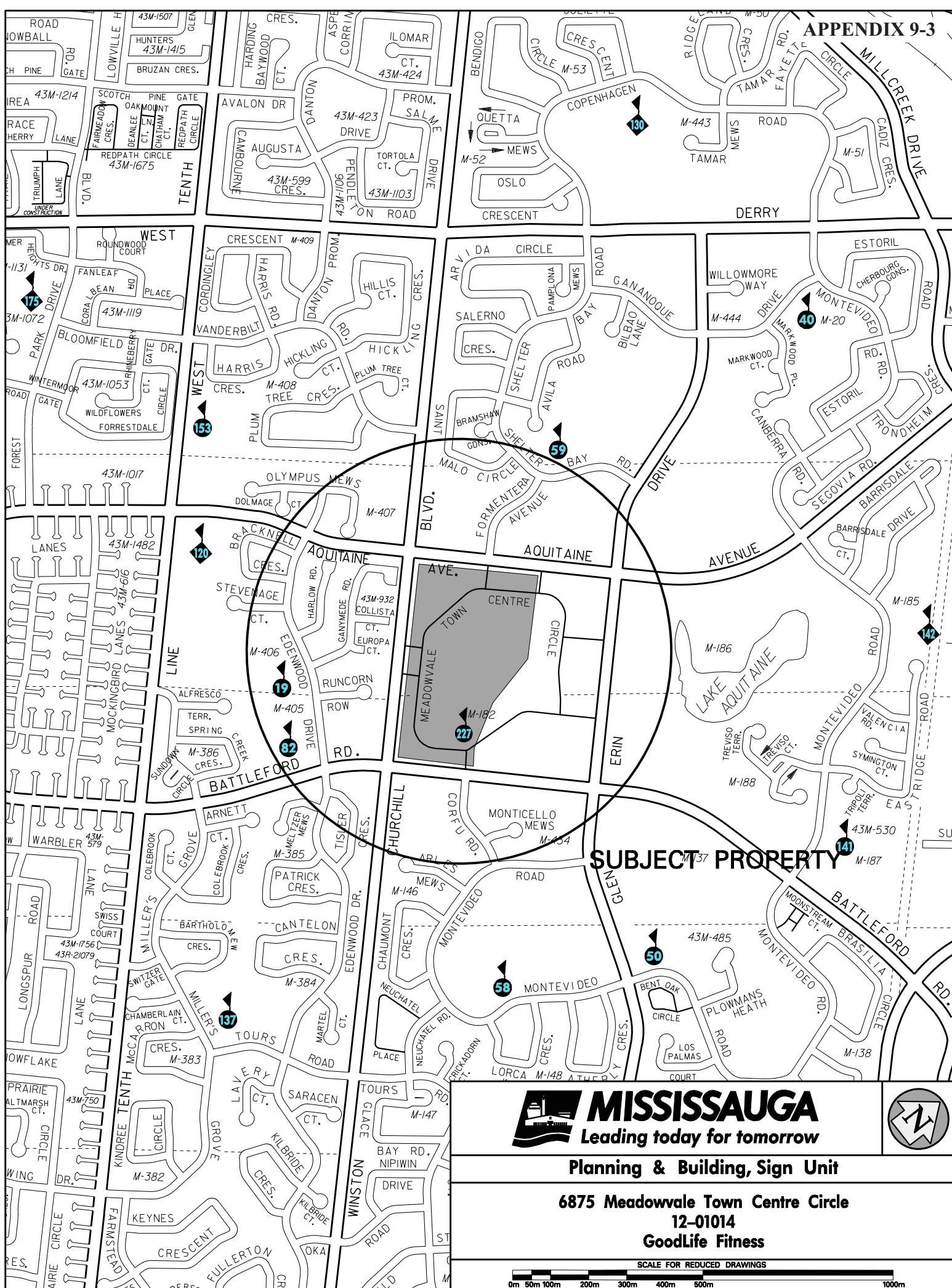
If you have any questions or concerns please contact Leanne Deadman or Tyler Hoogkamp, 1-866-656-7446.

Regards,

A handwritten signature in cursive script that reads "Leanne Deadman".

Leanne Deadman

CC: Tyler Hoogkamp, Jeff VanHaern, Angela DeVincenzo



SUBJECT PROPERTY



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Planning & Building, Sign Unit

6875 Meadowvale Town Centre Circle

12-01014

GoodLife Fitness

SCALE FOR REDUCED DRAWINGS



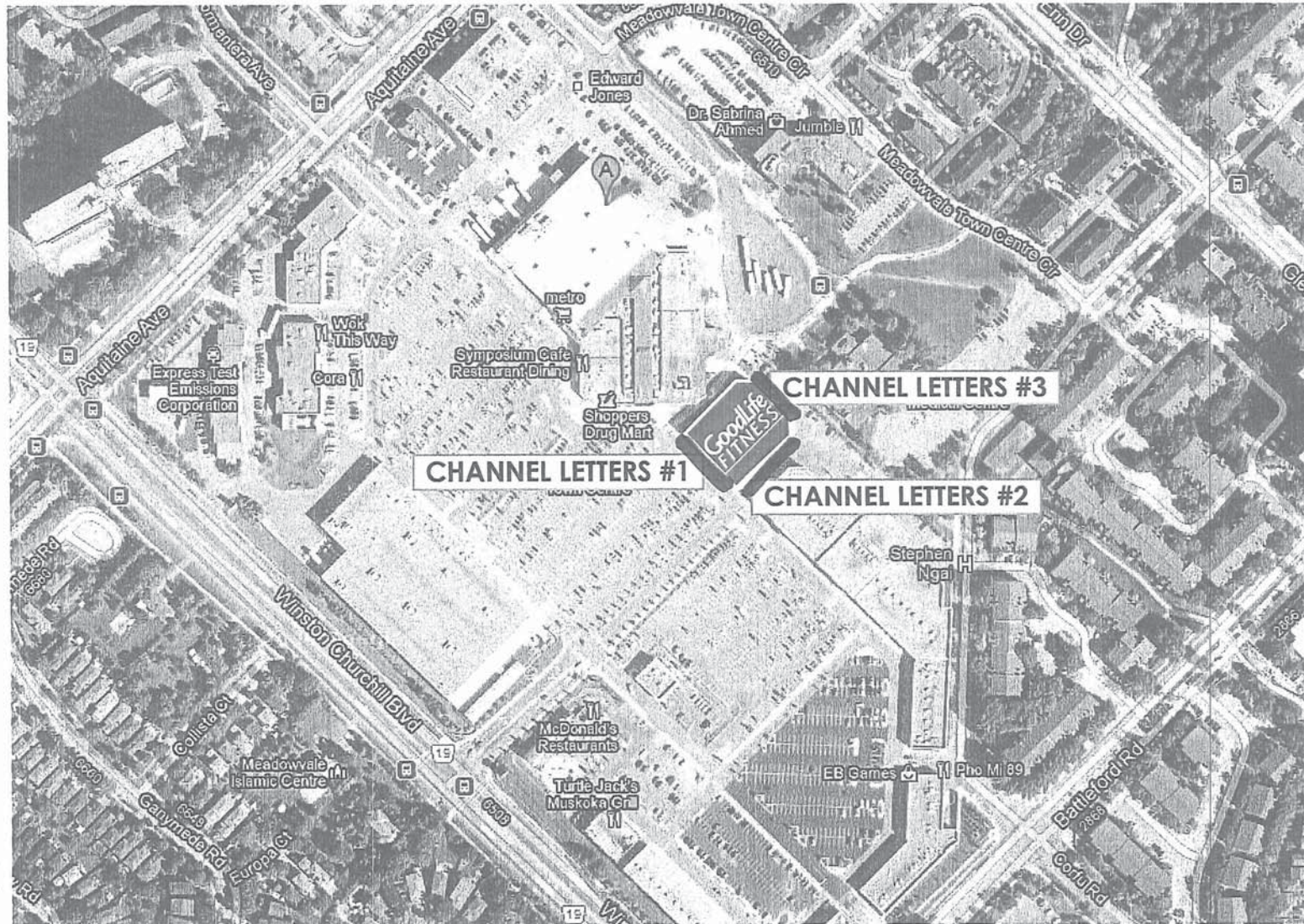
SITE MAP SHOWING SIGN LOCATIONS FOR GOODLIFE FITNESS (MEADOWVALE):

☐ APPROVED ☐ APPROVED WITH CHANGES

SIGNATURE _____

DATE: _____

12.10.14



35 Ridgeway Circle, Woodstock ON N4V 1C9
Tel: 519.421.4470 • Fax: 519.421.4472

March 8 2012
GoodLife Fitness Clubs - 6677 Meadowvale
6677 Meadowvale Town Centre Circle, Mississauga ON

Illuminated Channel Letters

Location A (South-West Elevation)

GoodLife Fitness
Mississauga / #6014 - Goodlife Meadowvale



Total Weight of "GoodLife" = 39.42 kg
Total Weight of "FITNESS" = 20.60 kg

Existing



Location "A"

PHONE 519.271.1707 FAX 519.272.1707 WWW.SUNSIGNS.CA SIGNS@SUNSIGNS.CA LINE 34, 2838B, STRATFORD ONTARIO, N5A 6S5

sunsigns

| | | | | | | | | |
|--------------------------------------|--|-----|----------------------------------------------------|----------------|-------------------------------------------------------------------------------------|--------------------------------------|-------------------------------------|--|
| April 11, 2012 - J.G. | | | | REVISION DATES | | | | |
| SIDES | | QNT | FINISHED SIZE | | MATERIALS / COLOURS / OTHER | | SIGN OFF SIGNATURE _____ DATE _____ | |
| s/s | | 1 | See Proof | | Aluminum construction (see drawings) | | | |
| | | | | |  | "Red" Translucent Vinyl, Red Trimcap | | |
| | | | | |  | Painted "Black" | | |
| INSTALLATION NOTES DATE/LOCATION: | | | 6677 Meadowvale Town Centre Circle, Mississauga ON | | | | | |

■ "Red" Translucent Vinyl, Red Trimcap
■ Painted "Black"

A1

APPENDIX 9-5

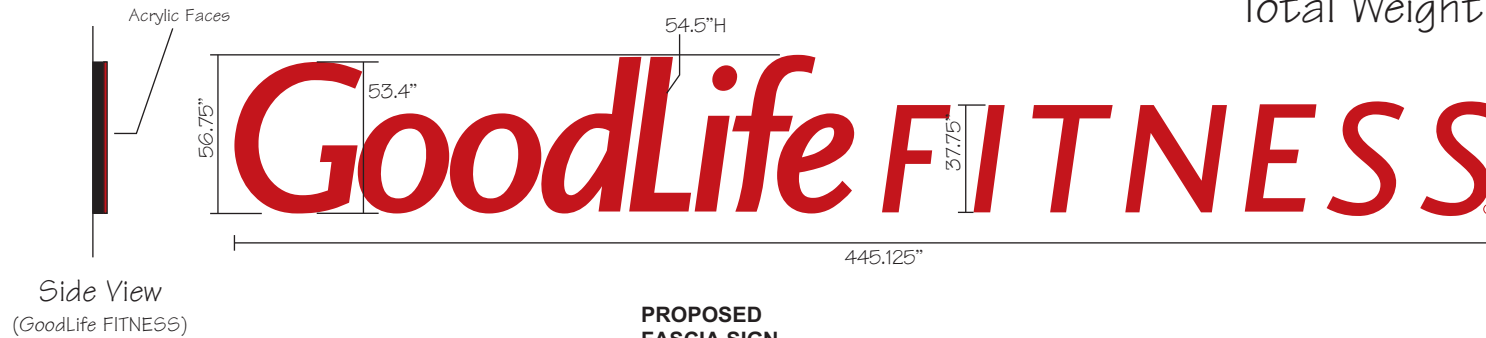
Illuminated Channel Letters

Location B (South-East Elevation)

GoodLife Fitness
Mississauga / #6014 - Goodlife Meadowvale

Total Weight of "GoodLife" = 30.16 kg

Total Weight of "FITNESS" = 16.23 kg



Location "B"

PHONE 519.271.1707 FAX 519.272.1707 WWW.SUNSIGNS.CA SIGNS@SUNSIGNS.CA LINE 34, 2838B, STRATFORD ONTARIO, N5A 6S5

sunsigns

| | | | | | | | | |
|--------------------------------------|-----|---------------|------------------------------------------------------------------------|----------------|------------------------------------------------------------|-------------------------------------|--|--|
| April 11, 2012 - J.G. | | | | REVISION DATES | | | | |
| SIDES | QNT | FINISHED SIZE | MATERIALS / COLOURS / OTHER Aluminum construction (see drawings) | | <div><div></div>“Red” Translucent Vinyl, Red Trimcap</div> | SIGN OFF SIGNATURE _____ DATE _____ | | |
| 5/5 | 1 | See Proof | | | | | | |
| INSTALLATION NOTES DATE/LOCATION: | | | 6677 Meadowvale Town Centre Circle, Mississauga ON | | | | | |

B1

APPENDIX 9-6



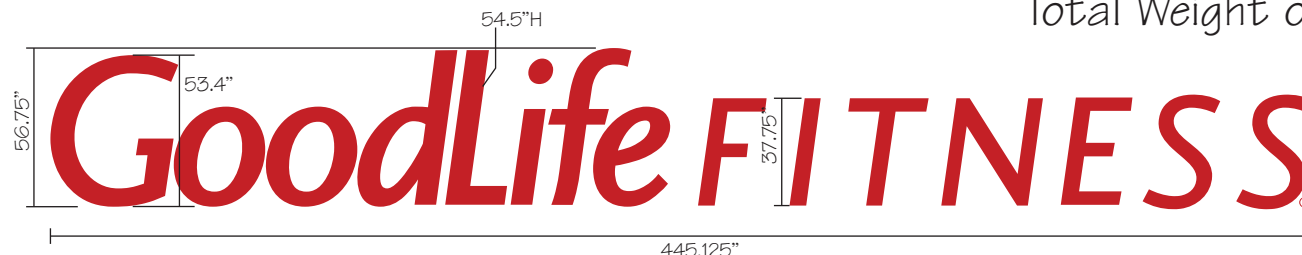
SUNSIGNS 2012 COPYRIGHT©

Illuminated Channel Letters

Location C (North-East Elevation)

GoodLife Fitness
Mississauga / #6014 - Goodlife Meadowvale

Total Weight of "GoodLife" = 30.16 kg
Total Weight of "FITNESS" = 16.23 kg



Side View
(GoodLife FITNESS)



Existing



Location "C"

PHONE 519.271.1707 FAX 519.272.1707 WWW.SUNSIGNS.CA SIGNS@SUNSIGNS.CA LINE 34, 2838B, STRATFORD ONTARIO, N5A 6S5

sunsigns

| | | | | | | | | |
|--------------------------------------|-----|---------------|------------------------------------------------------------------------|----------------|------------------------------------------------------------|-------------------------------------|--|--|
| April 11, 2012 - J.G. | | | | REVISION DATES | | | | |
| SIDES | QNT | FINISHED SIZE | MATERIALS / COLOURS / OTHER Aluminum construction (see drawings) | | <div><div></div>“Red” Translucent Vinyl, Red Trimcap</div> | SIGN OFF SIGNATURE _____ DATE _____ | | |
| s/s | 1 | See Proof | | | | | | |
| INSTALLATION NOTES DATE/LOCATION: | | | 6677 Meadowvale Town Centre Circle, Mississauga ON | | | | | |

C1

APPENDIX 9-7



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

August 14, 2012

FILE: 11-06951

RE: Daniels First Home Long Valley
3075 Thomas Street – Ward 10

The applicant requests the following variance to Section 27 of the Sign By-law 0054-2002, as amended.

| Section 27 | Proposed |
|-------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------|
| A construction site sign must have a minimum setback of 3.0m (9.84 ft.) from any property line. | One (1) construction site sign with a setback of 0.81m (2.66 ft.) from a property line. |

COMMENTS:

The proposed sign has been positioned a 0.81m (2.66 ft.) from the property line to allow space for construction activity. Sightlines and pedestrian movement along Thomas Street are not impacted by the sign. In this regard, the Planning and Building Department find the variance acceptable from a design perspective.

Daniels LR Corporation
Suite 3400 – 20 Queen Street West
Toronto, ON M5H 3R3
Tele: (416) 598-2129
Fax: (416) 979-0415

May 31, 2012

Sign Division
Planning & Building Department
City of Mississauga
300 City Centre Drive, 3rd Floor
Mississauga ON
L5B 3C1

To Whom It May Concern:

RE: Sign Variance Application – Justification Letter
3075 Thomas St, Mississauga
PL 43M-1762, Part of Block 3
Daniels LR Corporation

The enclosed Sign Variance Application is for a temporary construction site sign at Phase 2 of our "First Home Long Valley" new home community at 3075 Thomas Street that is currently under construction. This sign was originally installed in Phase 1 (Sign BP 08 3417) of this development and was subsequently removed and relocated to Phase 2 of this site as per Sign BP 11 6951.

In looking at potential locations for this sign along Thomas St., we were unable to meet the required 3.0m setback for the sign and still maintain a suitable setback from the building line in order to not impede our construction activities. As such, are requesting a reduced setback from the property line as detailed in the attached sketch. Given the substantial right-of-way along Thomas Street, we do not feel that this sign location has any adverse impact in terms of sightlines or pedestrian movement along Thomas Street.

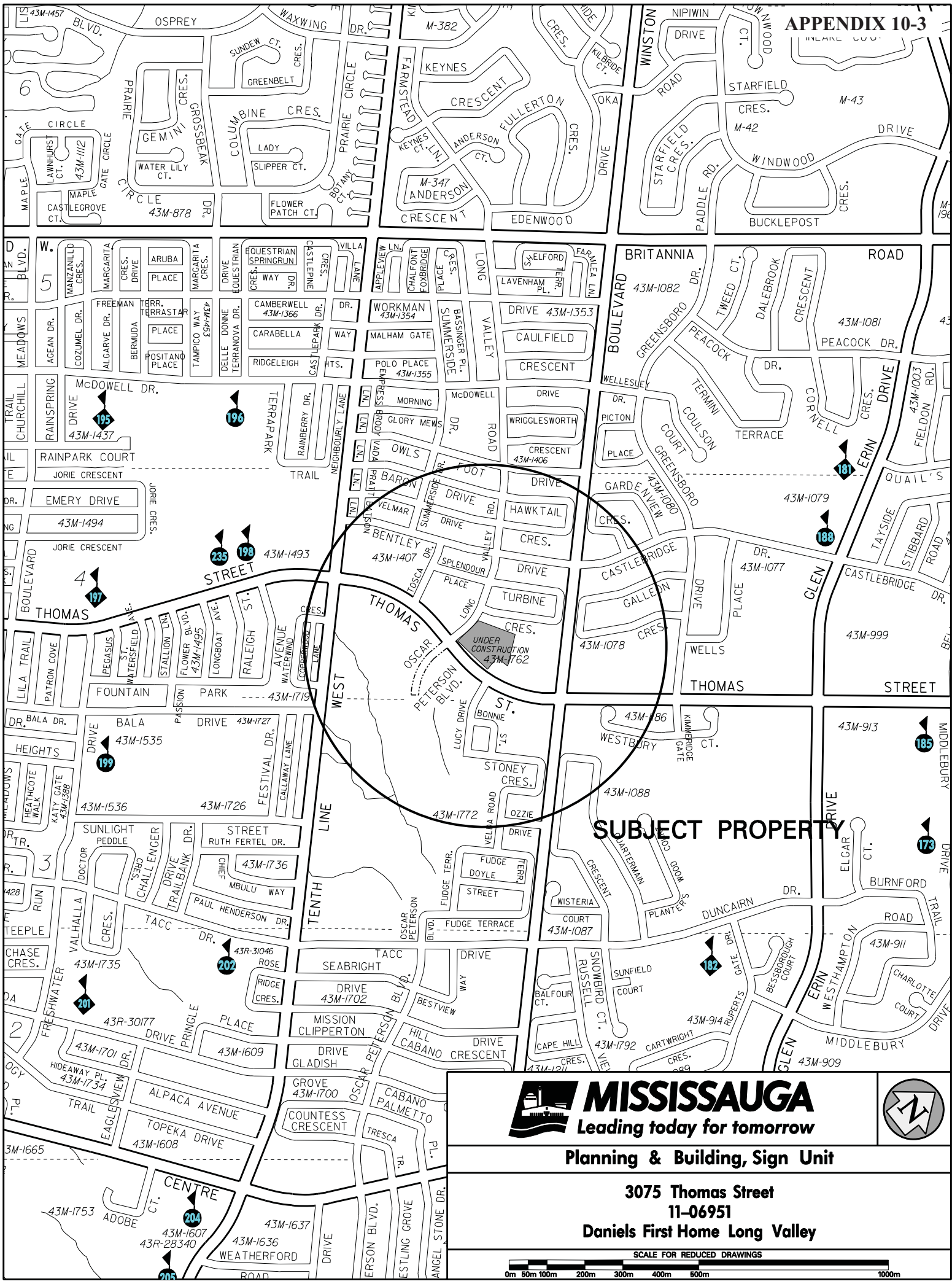
I trust the enclosed is satisfactory for the processing of this application. I can be reached at (905) 593-2118 should you require any further information or have any questions.

Sincerely,



Jeff Robinson
Manager of Development

Encl.



MISSISSAUGA
Leading today for tomorrow



Planning & Building, Sign Unit

3075 Thomas Street

11-06951

Daniels First Home Long Valley

SCALE FOR REDUCED DRAWINGS



Daniels
FirstHome™
Long Valley
PHASE TWO



COMING THIS FALL

**FULLY-BUILT CONDOMINIUM
SUITES & TOWNHOMES**

REGISTER TODAY!

DanielsFirstHome.ca
905-814-0123

Daniels
love where you live™
Official Developer of TIFF Bell Lightbox

8ft x 12ft Double Sided

8ft

6" x 6" Vertical
spruce Supports

1/2" Crezon Plywood Mounted
with 2 1/2" Ardox Galvanized
Nails

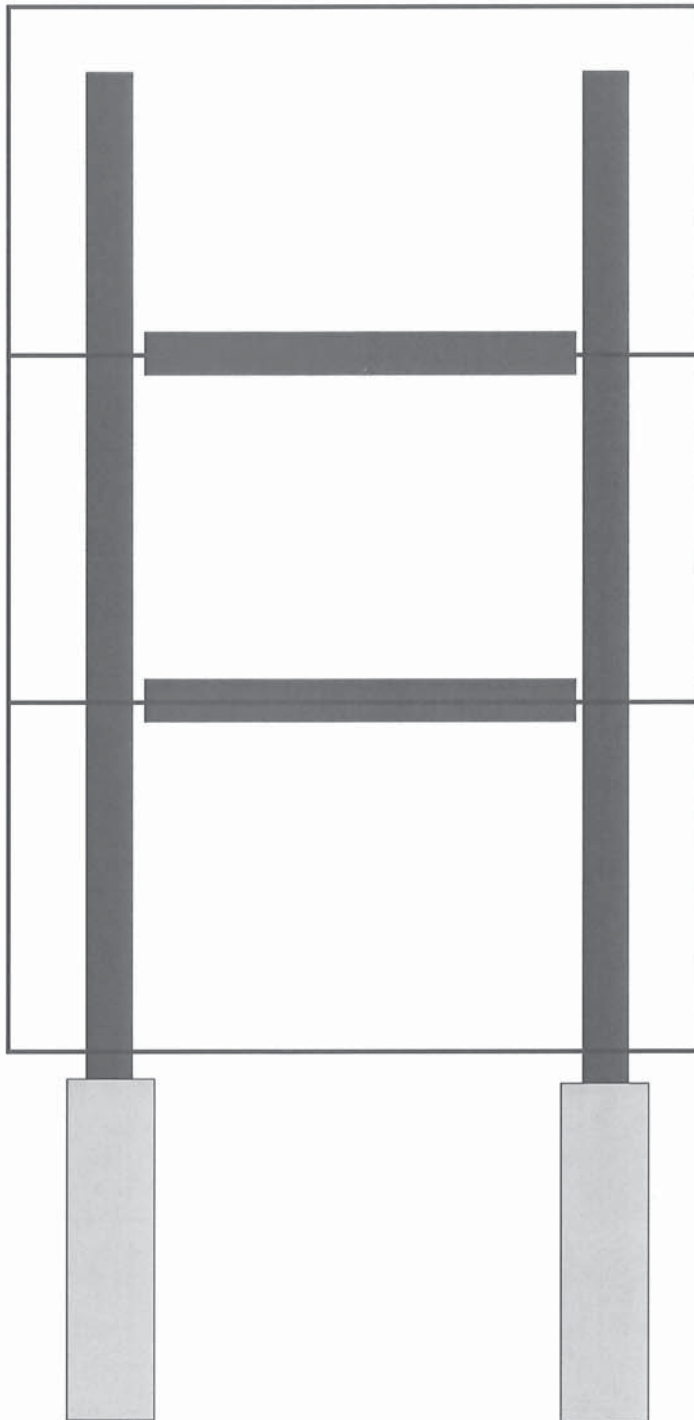
Framing 4" Ardox Galvanized
Nails

2" x 6" "
Horizontal
Spruce
Supports

12'

4ft

10" x 48"
concrete
Base x 2





SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

August 14, 2012

FILE: 12-00327

RE: 583167 Ontario Inc.
4310 Sherwoodtowne Blvd. – Ward 4

The applicant requests the following variance to Sections 13 and 16(4) of the Sign By-law 0054-2002, as amended.

| Section 13 | Proposed |
|-----------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------|
| A ground sign for an office building is permitted a maximum sign area of 15.0m ² (161.5 ft ²). | One (1) ground sign for an office building with a sign area of 22.06m ² (237.51 ft ²). |
| Section 13 | Proposed |
| A ground sign for a commercial undertaking is permitted a maximum height of 7.5m (24.6 ft). | One (1) ground sign for a commercial undertaking with a maximum height of 9.5m (31.1 ft). |
| Section 16(4) | Proposed |
| The sign face of a ground sign may include a changing copy sign with a sign area not exceeding 50% of the sign face of the ground sign. | One (1) ground sign with a changing copy sign with a sign area of 56% of the sign face of the ground sign. |

COMMENTS:

The proposed V-shaped ground sign requires a variance for; excessive area, excessive height, and excessive changing copy area of the sign. The proposed sign is facing Hurontario Street and has no impediments that would obstruct views of the sign. By the virtue that it is V-shaped, the sign is angled at each direction of traffic along Hurontario Street.

This property is in a prominent location of the Downtown and the Hurontario LRT main street project. The sign is not in keeping with the design goals for this area. In this regard, the Planning and Building Department cannot support the requested variance.



5352 Glen Erin Dr.
Mississauga, Ont.
L5M 5C2
Canada

(905) 821-1500
Fax: (905) 821-0991
bobarrigo@rogers.com
www.arriagosigns.com

Jan. 12, 2012

City of Mississauga
Planning & Building Department
300 City Centre Drive
Mississauga, Ontario

Dear Sirs:

Re: 583167 Ontario Ltd. / 4310 Sherwoodtowne Blvd., Mississauga, On.

I am pleased to advise you that Arrigo Signs & Graphics Inc is the agent, designer and sign supplier to the owner of the above-captioned property located at 4310 Sherwoodtowne Blvd.

We have been advised by the Mississauga Planning and Building Department to apply for a variance to permit the inclusion of additional height and the installation of static LED digital displays on the proposed V-format pylon sign.

This pylon serves as needed advertising for the business services provided through the lease holders in this building as well as the primary tenant Remax Realty Specialists Inc. Brokerage. The city's reconstruction of the roadway that runs along the west side of the property includes a tall privacy wall that completely blocks all visibility to the existing V-format lawn pylon on the property. Although our client bore considerable expense in the purchase of this pylon several months have passed since roadway reconstruction began, construction that has effectively eliminated the identification of the businesses of the lease holders. Throughout this time 10' tall tarpaulin type fencing has surrounded the property.

With respect to the city's design for high quality building facades and signage a design has been proposed (see attached) for the construction of a pylon sign, however it exceeds the height limitations of the by-law. Due to the privacy wall that will complete the new road construction we have needed to add a 7' tall base so the businesses advertising on the sign can be visible.

The design includes the installation of a static LED digital display on each side of the sign. As a sign professional of over thirty years, it is my opinion that this sign will be a great benefit to Mississauga residents and provide a very upscale enhancement to the property as well as to the busy city core business community.

I am recommending the additional pylon height to our client as a solution to the visibility problem presented by the city privacy wall and our client is looking for your favourable response to this solution.

We know and appreciate the City of Mississauga as an entity that endorses and assists businesses in our community and we respectfully request that you honour and comply with your own mandate to encourage the operation and growth of professionally run services such as my client and it's lease holders provide to the residents of Mississauga.

Many thanks, respectfully your,
Bob Arrigo

CEO / Arrigo Signs & Graphics Inc.

583167 ONTARIO INC.**BDC BUILDING**

6850 Millcreek Drive
Mississauga, Ontario, L5N 4J9
Gregory Gilmour: President 905-361-3444

January 16, 2012

Attention: City Of Mississauga

As a building owner and a large taxpayer in Mississauga, I am one of the few Buildings negatively affected by the BRT.

I have been working with Scott W Anderson scottw.anderson@mississauga.ca to try to lessen the burden of having this road relocated to the edge of my property. It was scheduled to go above Sherwoodtowne Blvd when I developed the property.

The vibration of the excavation is disturbing to my tenants and the future noise of the buses could negatively affect my ability to keep my building occupied with tenants at the same rates as I was achieving.

The pylon sign being visible will be a leasing incentive for the businesses in my building and assist me in keeping my building full.

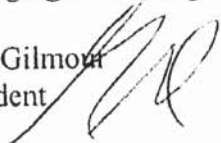
If you look at my history, the building has enjoyed almost 100% occupancy since I built it in 1999.

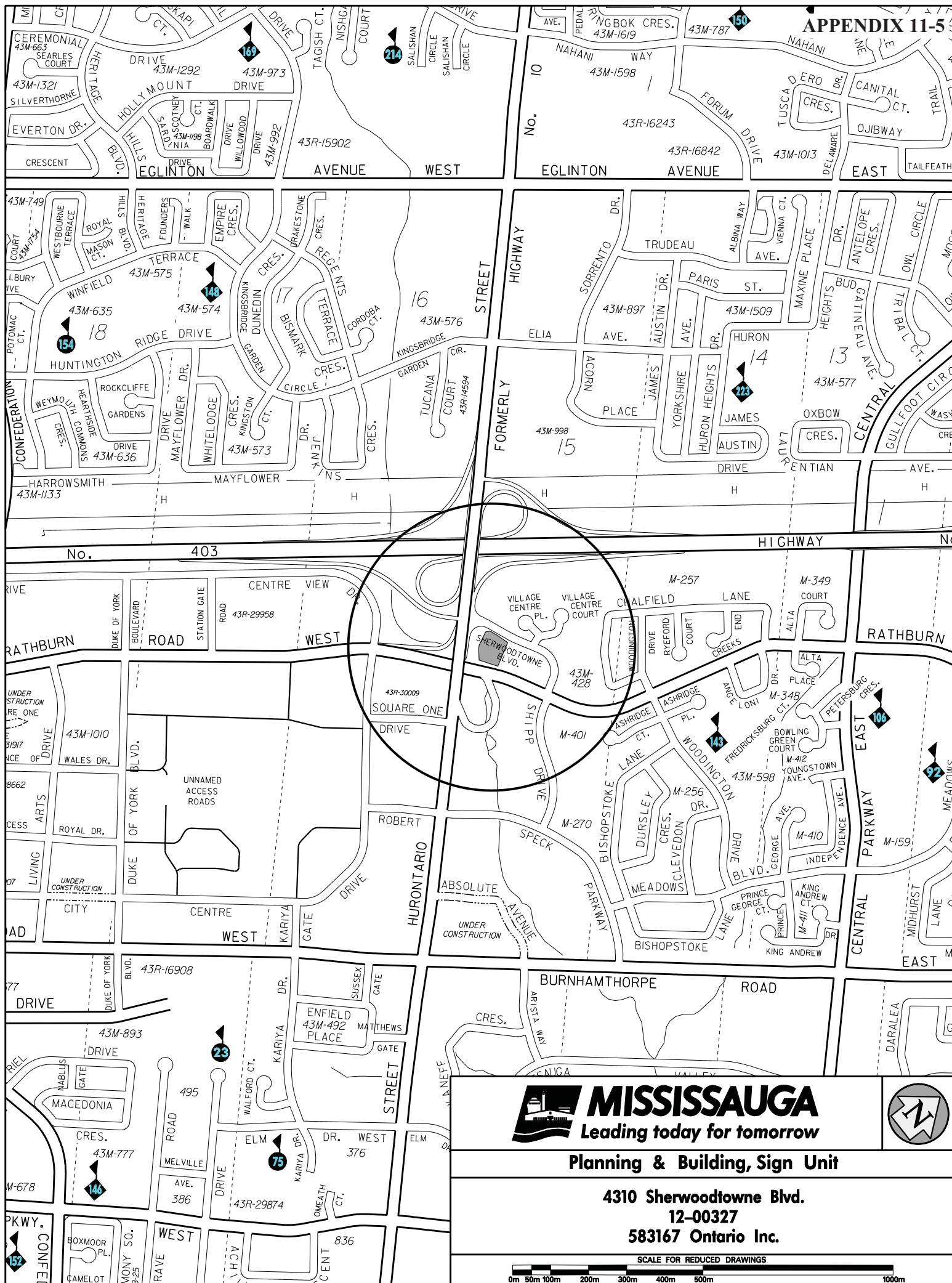
Recently I had a tenant move and for the first time I am having difficulty renting the space at rates that I have been achieving.

The construction is likely to last over a year and negatively affects my ability to lease my vacant space as well as the quiet enjoyment of my existing tenants.

Please assist me in getting the new pylon approved. The new Pylon with the electronic messaging will be a great asset to my tenants.

Greg Gilmour
President





MISSISSAUGA
Leading today for tomorrow

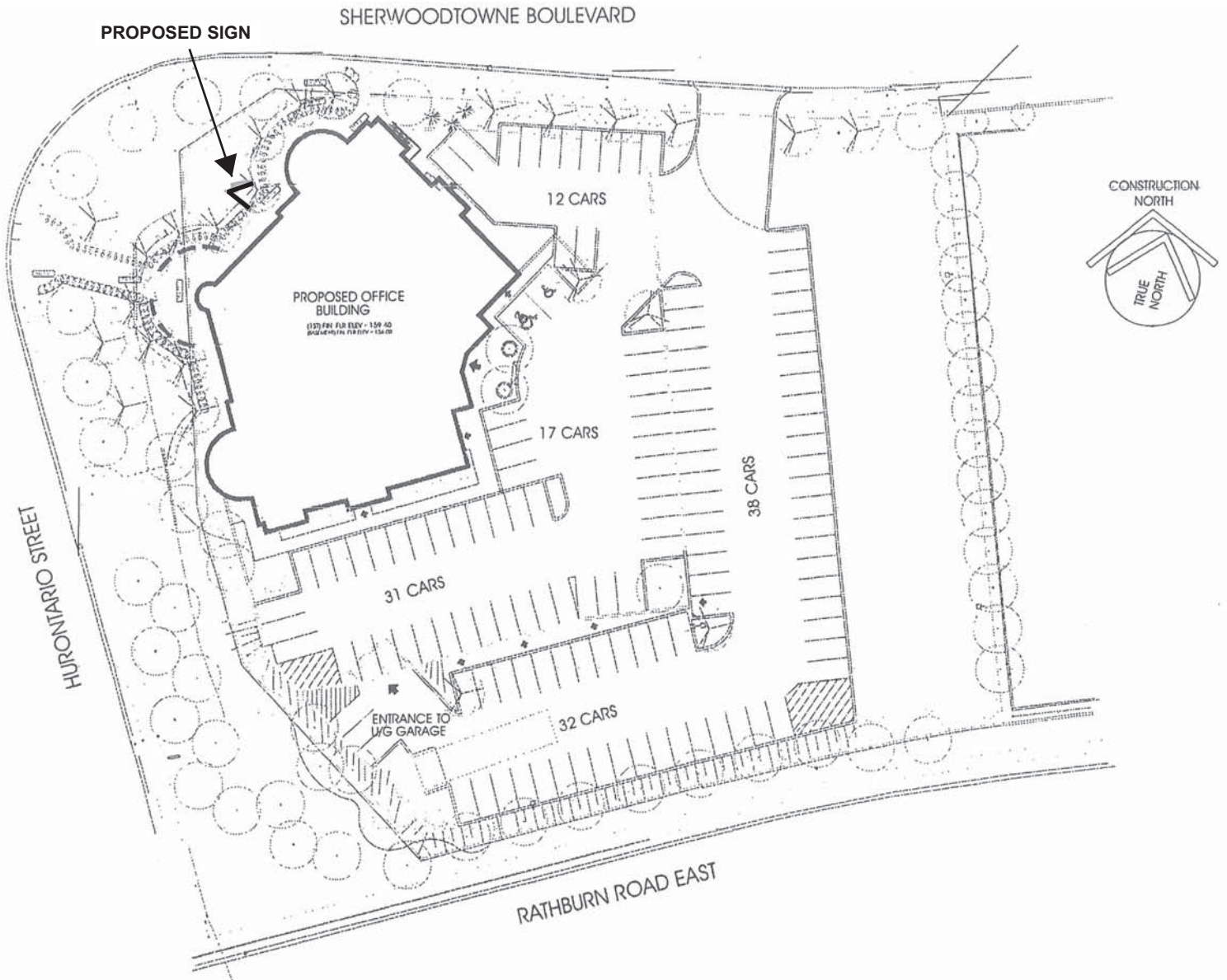


Planning & Building, Sign Unit

**4310 Sherwoodtowne Blvd.
12-00327
583167 Ontario Inc.**

SCALE FOR REDUCED DRAWINGS

0m 50m 100m 200m 300m 400m 500m 1000m



SITE PLAN

JUNE 03/98



SHERWOOD CORNERS COMMERCIAL DEVELOPMENT

stafford
haensli
architects

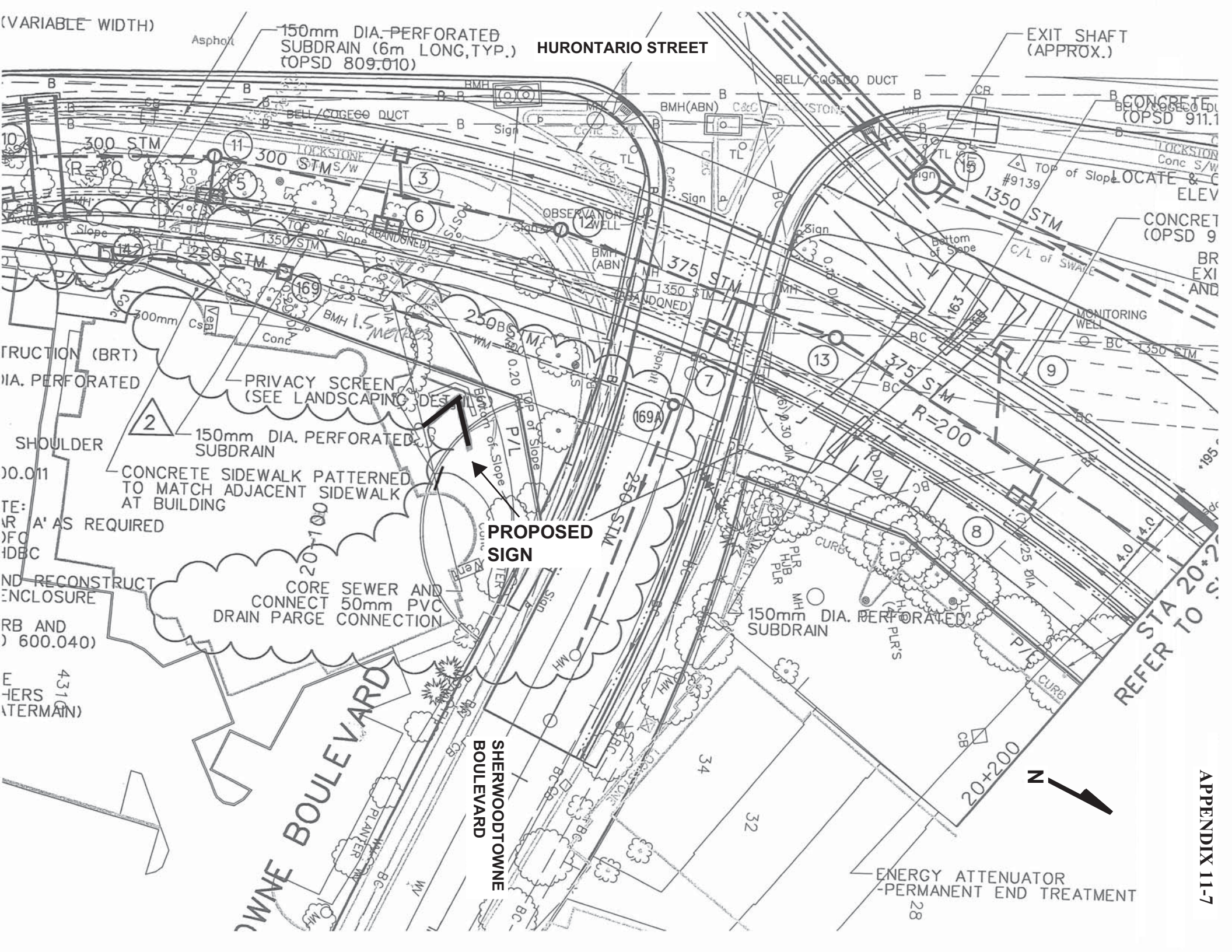
(VARIABLE WIDTH)

Asphalt

150mm DIA. PERFORATED
SUBDRAIN (6m LONG, TYP.)
(TOPSD 809.010)

HURONTARIO STREET

EXIT SHAFT
(APPROX.)



**PROPOSED
SIGN**

SPECIFICATIONS

STRUCTURE:

V-format pylon on corrugated aluminum clad base

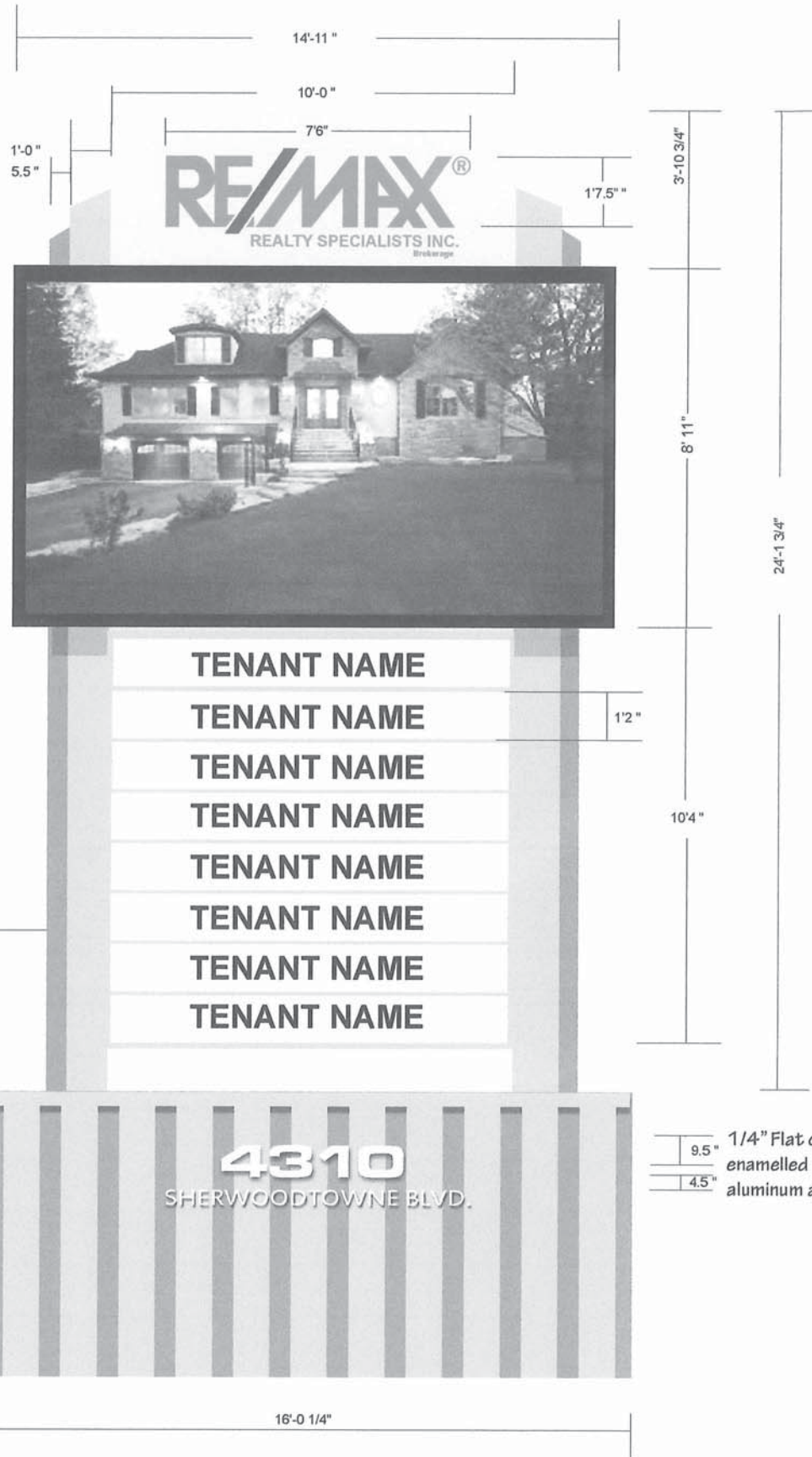
LOGO CABINET: Clear anodized aluminum box, REMAX logo to be routed out with 3/4" clear acrylic mounted internally and projecting through, letter faces premium translucent vinyl film. Letters will produce a halo effect as panel is internally lit.

EMC: Two (2) Daktronics built 16mm Galaxy Pro Outdoor LED Gp3 Series Static Digital Display

TENANT CABINET:

Interior lit box accomodating (8) tenants

6" x 8" aesthetic aluminum column



REMAX REALTY
SPECIALISTS INC.

4310 SHERWOODTOWNE BLVD.

Drawn by: BOB ARRIGO

12-18-11

SCALE: 1/4" = 1'-0"



SPECIFICATIONS

STRUCTURE:

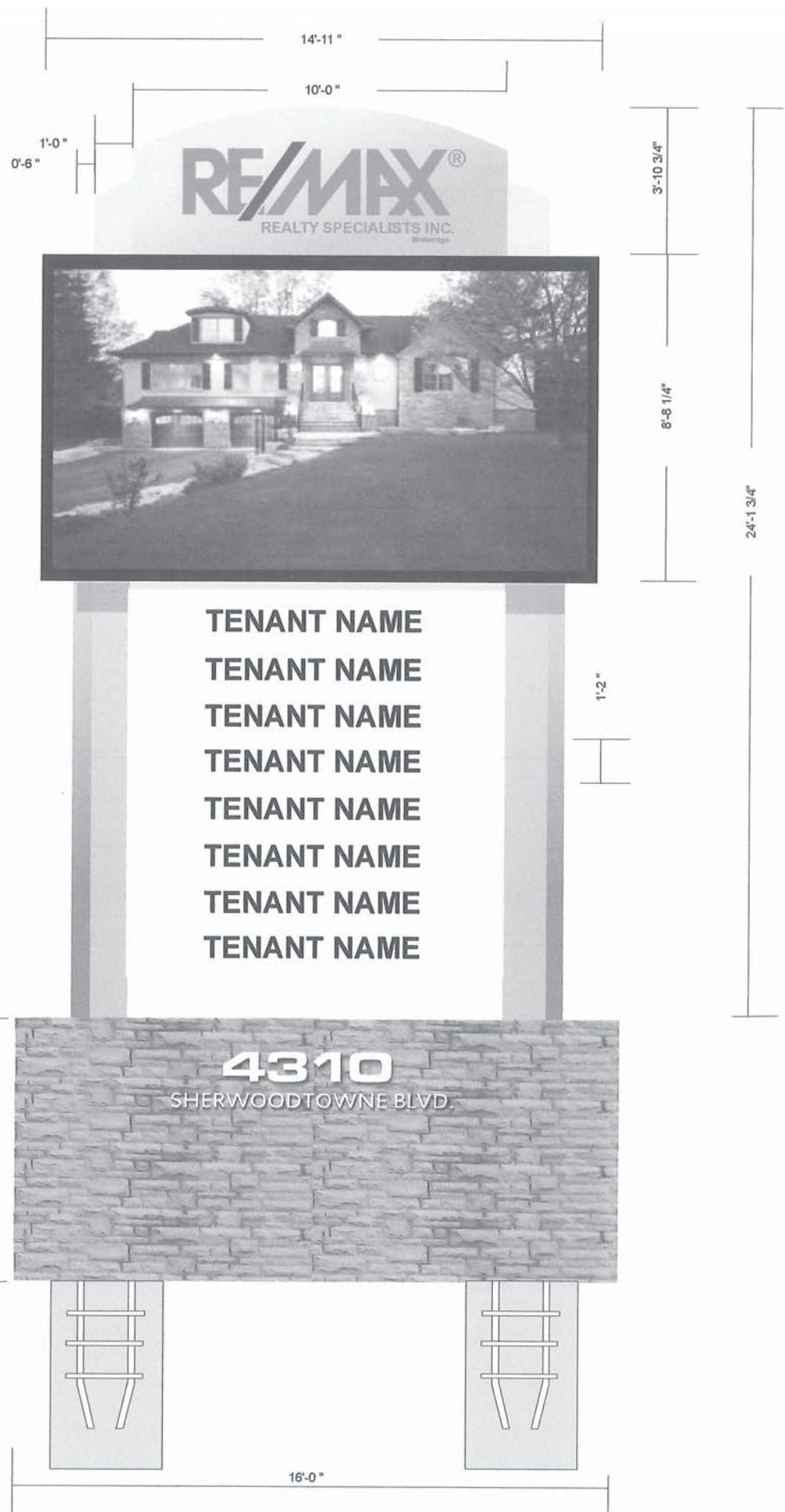
V-format pylon on Bradstone base
Option - Double sided Pylon

LOGO CABINET: Clear anodized aluminum box, REMAX logo to be routed out with 3/4" clear acrylic mounted internally and projecting through, letter faces premium translucent vinyl film. Letters will produce a halo effect as panel is internally lit.

EMC: Two (2) Daktronics built
20mm Galaxy Pro Outdoor
LED Gp3 Series
Static Digital Display

TENANT CABINET:

Interior lit box accomodating (8) tenants



REMAX REALTY
SPECIALISTS INC.

4310 SHERWOODTOWNE BLVD.

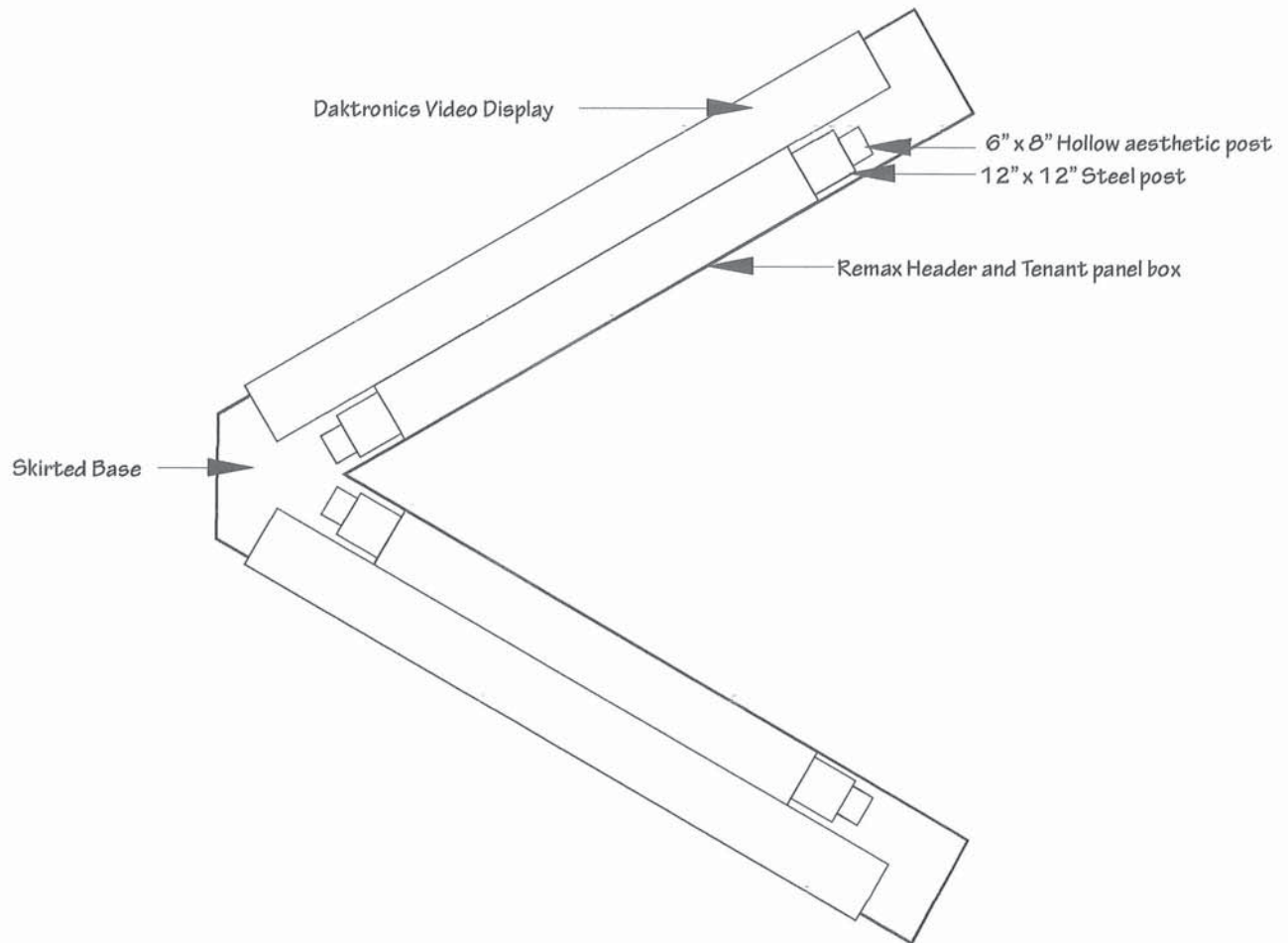
Drawn by: BOB ARRIGO

08-18-11

SCALE: 1/4" = 1'0"



SHERWOODTOWNE BLVD. V-FORMAT PYLON



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12-18-11

SCALE: 1/4" = 1'0"

