



Corporate Report

Clerk's Files

Originator's
Files

BL.03-SIG (2011)

PDC NOV 14 2011

DATE: October 25, 2011

TO: Chair and Members of Planning and Development Committee
Meeting Date: November 14, 2011

FROM: Edward R. Sajecki
Commissioner of Planning and Building

SUBJECT: **Sign By-law 0054-2002, as amended**
Sign Variance Applications

RECOMMENDATIONS: That the Report dated October 25, 2011 from the Commissioner of Planning and Building regarding Sign By-law 0054-2002, as amended, and the requested two (2) Sign Variance Application described in Appendix 1 to 2 of the Report, be adopted in accordance with the following:

1. That the following Sign Variances **not be granted**:

- (a) Sign Variance Application 11-05974
Ward 7
Mr. Lube
632 Burnhamthorpe Rd. W.

To permit the following:

- i) One (1) additional ground sign fronting
Burnhamthorpe Rd. W.

- (b) Sign Variance Application 11-03917
Ward 11
T-Zone Vibration Health Technology
13 Main St.

To permit the following:

- (i) One (1) fascia sign with a sign area equal to 22.7% of the building face, 57 sq. m. (60 sq. ft.).

BACKGROUND:

The *Municipal Act* states that Council may, upon the application of any person, authorize minor variances from the Sign By-law if in the opinion of Council the general intent and purpose of the By-law is maintained.

COMMENTS:

The Planning and Building Department has received two (2) Sign Variance Applications (see Appendix 1 to 2) for approval by Council. The application is accompanied by a summary page prepared by the Planning and Building Department which includes information pertaining to the site location; the applicants proposal; the variance required; an assessment of the merits (or otherwise) of the application; and a recommendation on whether the variance should or should not be granted.

FINANCIAL IMPACT:

Not applicable.

CONCLUSION:

Council may authorize minor variances from Sign By-law 0054-2002, as amended, if in the opinion of Council, the general intent and purpose of the By-law is maintained. Sign By-law 0054-2002, as amended, was passed pursuant to the *Municipal Act*. In this respect, there is no process to appeal the decision of Council to the Ontario Municipal Board, as in a development application under the *Planning Act*.

ATTACHMENTS:

Mr. Lube

Appendix 1-1 to 1-8

T-Zone Vibration Health Technology

Appendix 2-1 to 2-6

Edward R. Sajecki

Commissioner of Planning and Building

Prepared by: Darren Bryan, Supervisor Sign Unit



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

October 25, 2011

FILE: 11-05974

RE: Mr. Lube
632 Burnhamthorpe Rd. W. – Ward 7

The applicant requests the following variance to Section 13 of the Sign By-law 0054-2002, as amended.

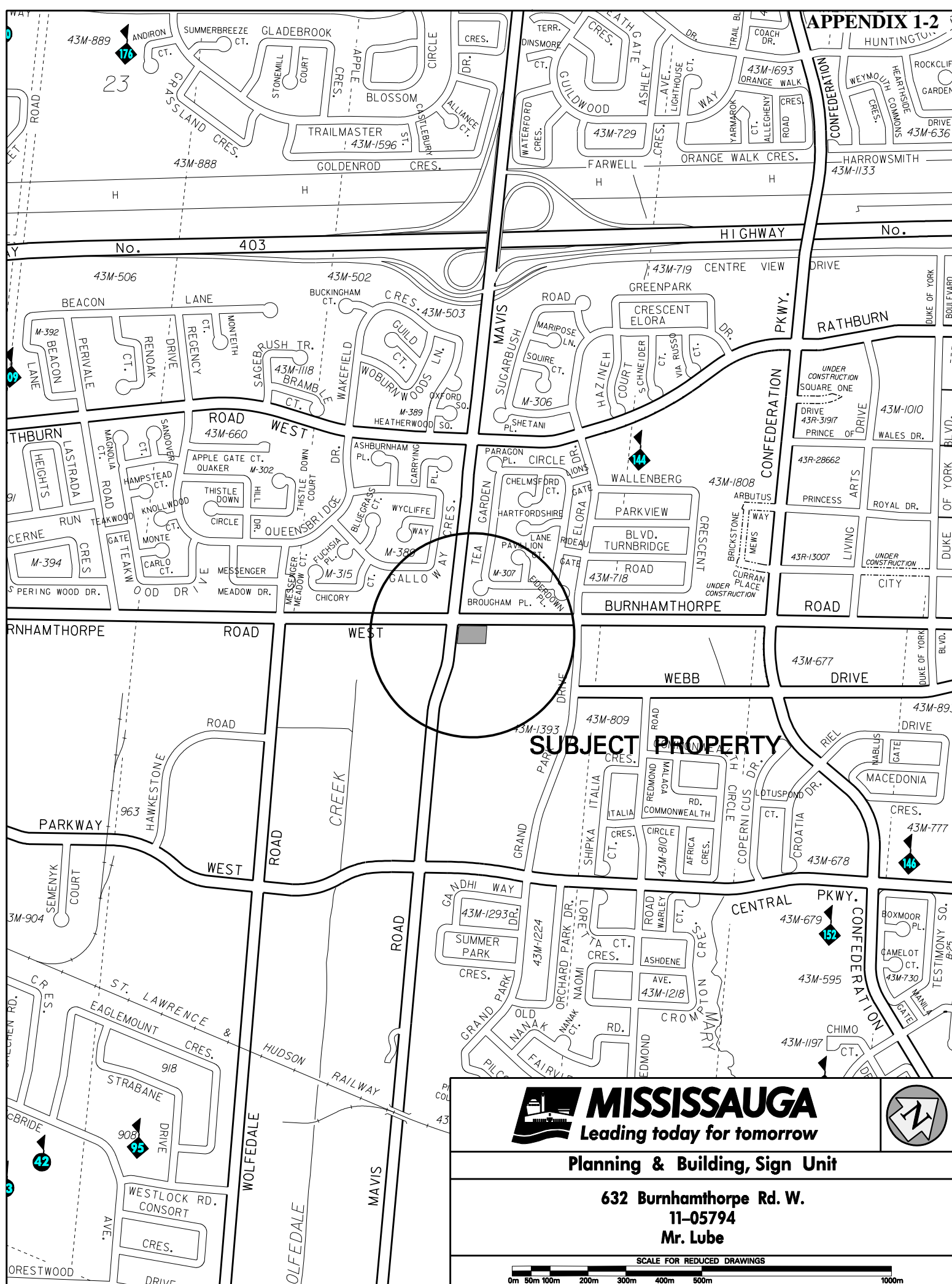
Section 13	Proposed
One (1) ground sign is permitted per street line.	One (1) additional ground sign fronting Burnhamthorpe Rd. W.

COMMENTS:

The proposed variance is to permit a ground sign for Mr. Lube located on the same street frontage as an existing ground sign. Although there are multiple buildings and tenants, they are located on one property.

The limit of one ground sign for each street frontage of a property was included in the By-law to reduce the visual clutter along the street. Only large shopping centres are permitted an additional ground sign if a minimum distance of 100m (300 ft.) from another ground sign on the same street frontage can be achieved. The distance between the existing and proposed sign is approximately 55m (180.4 ft.).

Signage for Mr. Lube can be included on the existing ground sign (Appendix 1-8) similar to other gas station sites throughout the City. The Planning and Building Department can not support the variance, as it would set an undesired precedent for properties with multiple tenants.



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Planning & Building, Sign Unit

**632 Burnhamthorpe Rd. W.
11-05794
Mr. Lube**

SCALE FOR REDUCED DRAWINGS





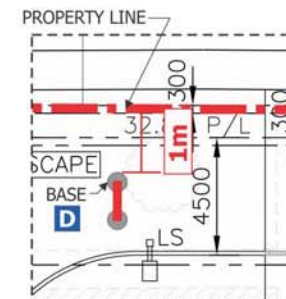
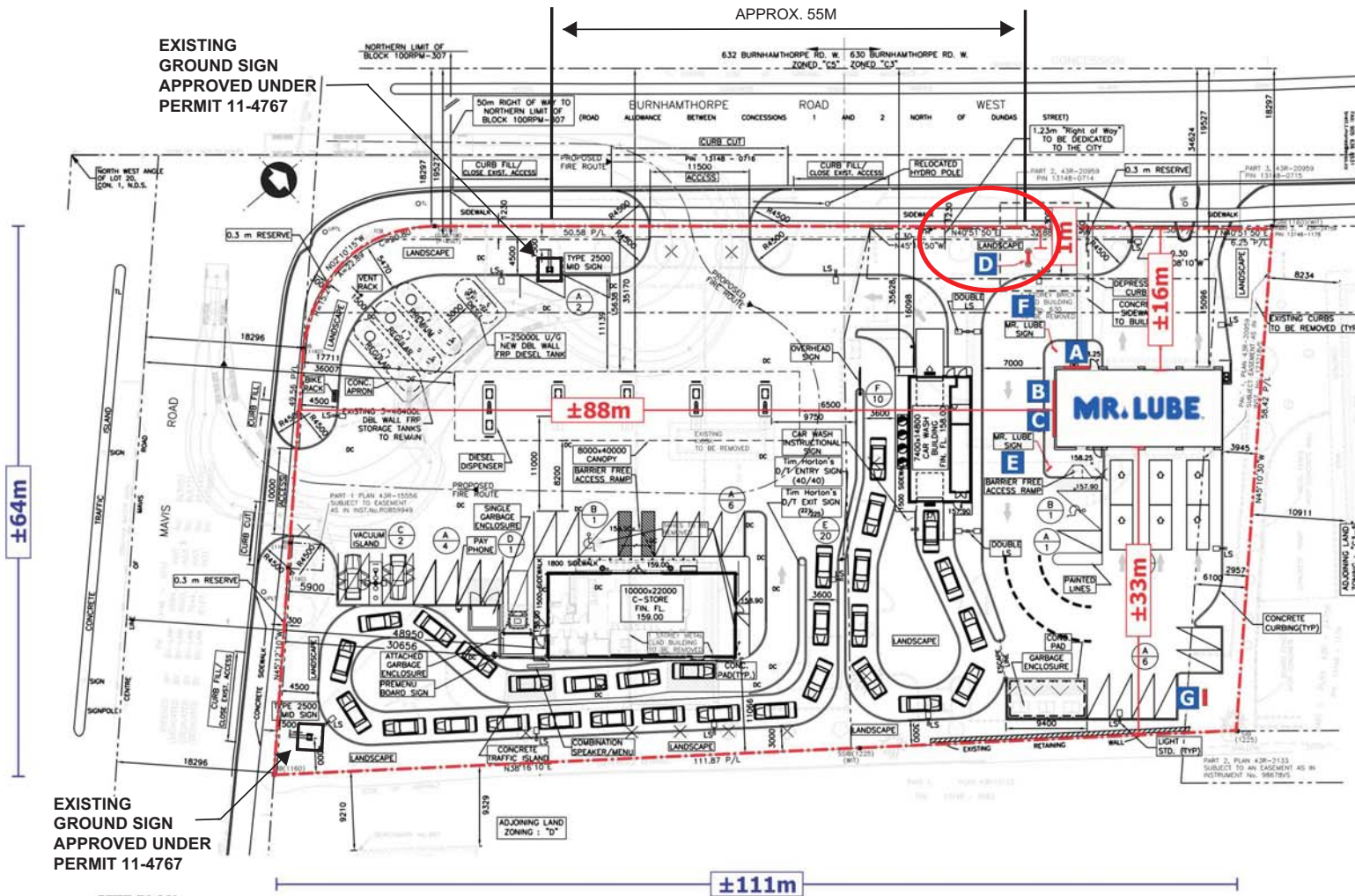
August 18, 2011

Letter of Rational

The present is our application for a sign variance of the City of Mississauga Sign By-Law 0054-2002 as amended. The purpose of our request is for the purpose of installing a pylon sign on the property for Mr. Lube.

On the same property, there are already two existing pylon signs occupied by another tenant. We are asking permission to install a third pylon sign on the same property for Mr. Lube. We believe that the pylon sign will not only serve as identification for customers but also complete the brand image of Mr. Lube nationwide. In addition, the height of the pylon sign we are proposing respects the requirement of the city as it is less than 24'-1/2" high.

Thank you for the attention you will give to this request, and please do not hesitate to contact us immediately should you require additional information and/or documentation to complete our application. The resolution of the Council concerning this proposition is pivotal to our client's decision to proceed with this store upgrading.



SITE PLAN
Scale: 1 : 500

SITE CHECK REQUIRED

ALL SIGNAGE DIMENSIONS SUBJECT TO CITY APPROVAL AND SITE SURVEY

MR LUBE • Burnhamthorpe Rd, Mississauga

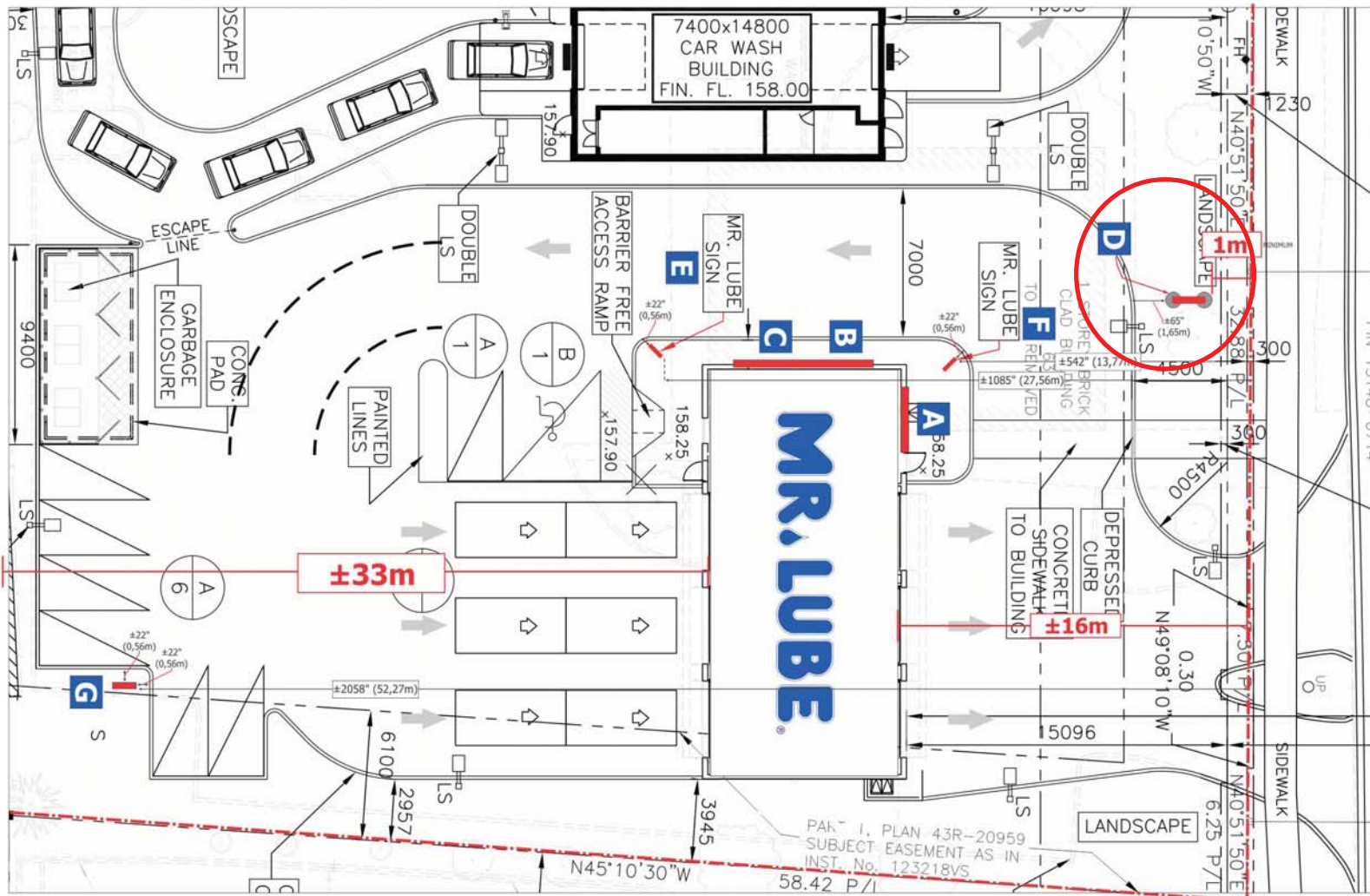


CLIENT: MR LUBE
ADDRESS: 3535 LAIRD ROAD, UNIT 4
CITY: MISSISSAUGA, ONTARIO P.C.: L5L 5Y7
TEL: 1-800-667-7809 FAX: 905-828-7242

SITE: MR LUBE • Burnhamthorpe Rd, Mississauga
ADDRESS: 632 BURNHAMTHORPE ROAD
CITY: MISSISSAUGA, ONTARIO P.C.:
TEL: FAX:

DRAWING:
DATE: REV. DATE:
SCALE: DRAWN BY:
DIR: WIP2011\MLUBE\MISSISSAUGA (BURNHAMTHORPE RD)\CDR\SIGNAGE

**1-800
906
NEON**



SITE PLAN
Scale: 1 : 200

**SITE CHECK
REQUIRED**

ALL SIGNAGE DIMENSIONS SUBJECT TO CITY APPROVAL AND SITE SURVEY



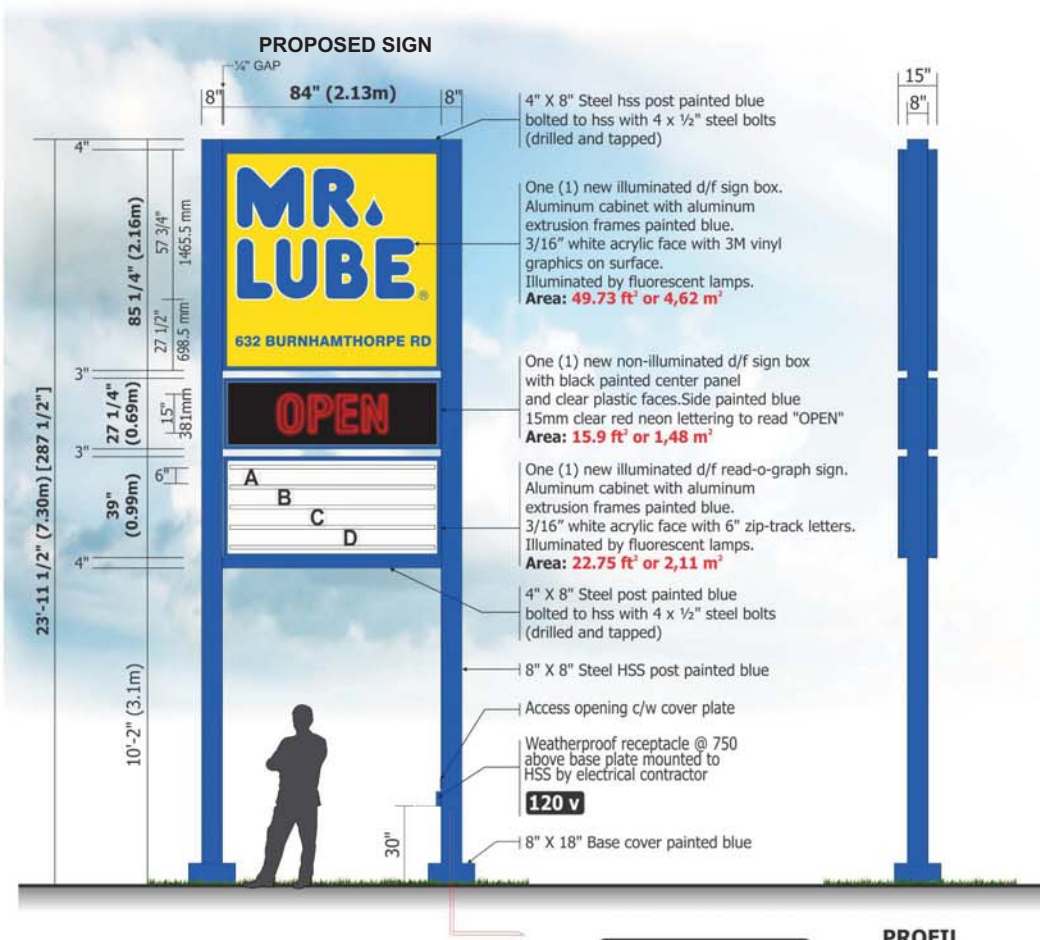
CLIENT: MR LUBE
ADDRESS: 3535 LAIRD ROAD, UNIT 4
CITY: MISSISSAUGA, ONTARIO P.C.: L5L 5Y7
TEL: 1-800-667-7809 FAX: 905-828-7242

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CITY: MISSISSAUGA, ONTARIO P.C.:
TEL: FAX:

DRAWING:
DATE: REV. DATE:
SCALE: DRAWN BY:
DIR: WIP2011\MLUBE\MISSISSAUGA (BURNHAMTHORPE RD)\CDR\SIGNAGE

**1-800
906
NEON**

MR LUBE • Burnhamthorpe Rd, Mississauga

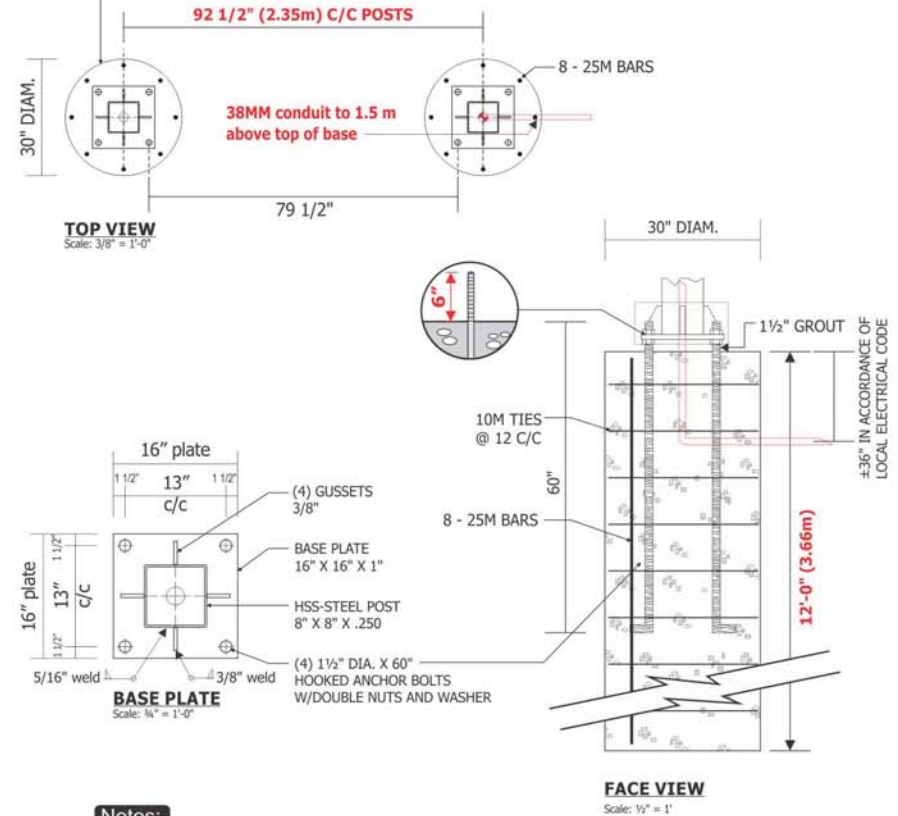


D NEW ILLUMINATED D/F PYLON SIGN
GRAPHIC ELEVATION
Scale: 1/4" = 1'-0"

Colours:

- Avery Vinyl Blueberry # A9593-T
Pantone # 2747 C
- Poles and all frames
Painted Pantone # 2747 C
- Avery Vinyl lemon Zest # A9113-T
Pantone # 109 C
- White: acrylic

(2) CONCRETE SONOTUBE BASES



Notes:

FINAL POSITIONING OF SIGN AND BASE IN RELATION TO PROPERTY LINES, HYDRO LINES AND ANY OTHER RELEVANT FACTORS TO BE THE ENTIRE RESPONSIBILITY OF THE CLIENT AND / OR THE PROJECT MANAGER / CONTRACTOR

THE CLIENT AND / OR THE PROJECT MANAGER / CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND MUST ADVISE US OF ANY IRREGULARITY PRIOR TO START OF WORK

THE CLIENT AND / OR THE PROJECT MANAGER / CONTRACTOR MUST BE SURE THAT THE LOAD BEARING CAPACITY OF THE SOIL IS A MINIMUM OF 3000 PSF

Design Notes:

Anchor bolts: ASTM A307 (min. 36 ksi yield)

Reinforcing steel: Deformed bars to CSA G30.18, grade 400

Concrete strength: 25 MPa minimum strength @ 28 days

Allowable soil bearing capacity: 3000 psf

Allowable passive lateral soil resistance = 300 psf/ft

Concrete must be poured against undisturbed soil

ALL SIGNAGE DIMENSIONS SUBJECT TO CITY APPROVAL AND SITE SURVEY



CLIENT: MR LUBE

ADDRESS: 3535 LAIRD ROAD, UNIT 4

CITY: MISSISSAUGA, ONTARIO P.C.: L5L 5Y7

TEL: 1-800-667-7809 FAX: 905-828-7242

SITE: MR LUBE • Burnhamthorpe Rd, Mississauga

ADDRESS: 632 BURNHAMTHORPE ROAD

CITY: MISSISSAUGA, ONTARIO P.C.:

TEL: FAX:

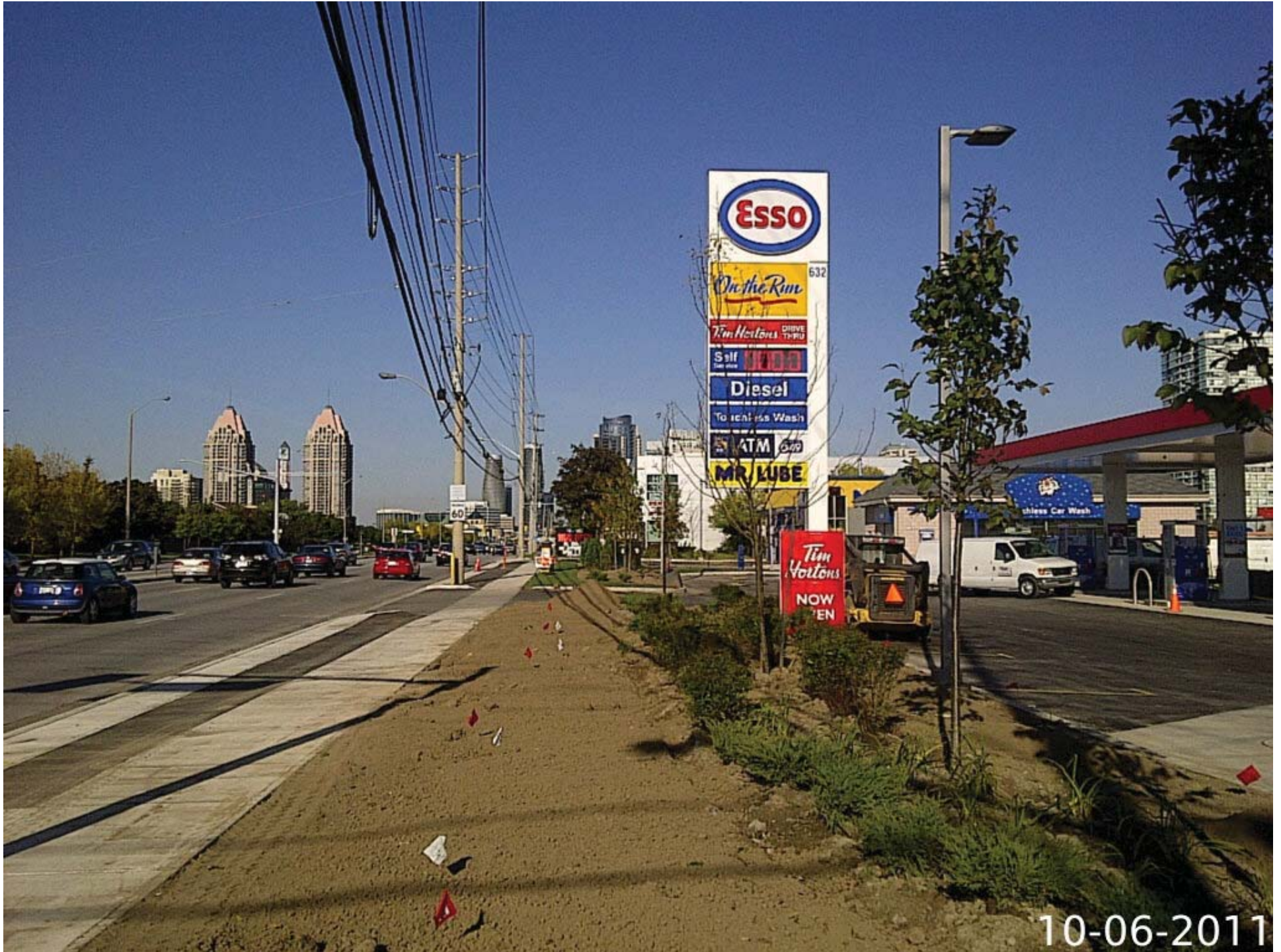
DRAWING:

DATE: REV. DATE:

SCALE: DRAWN BY:

DIF: WIP2011\ML\MR LUBE\MISSISSAUGA (BURNHAMTHORPE RD)\CDR\SIGNAGE

1-800
906
NEON



632 Burnhamthorpe Road West
Burnhamthorpe Frontage



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

October 25, 2011

FILE: 11-03917

RE: T-Zone Vibration Health Technology
13 Main Street - Ward 11

The applicant requests the following variance to section 13 of the Sign By-law 0054-2002, as amended.

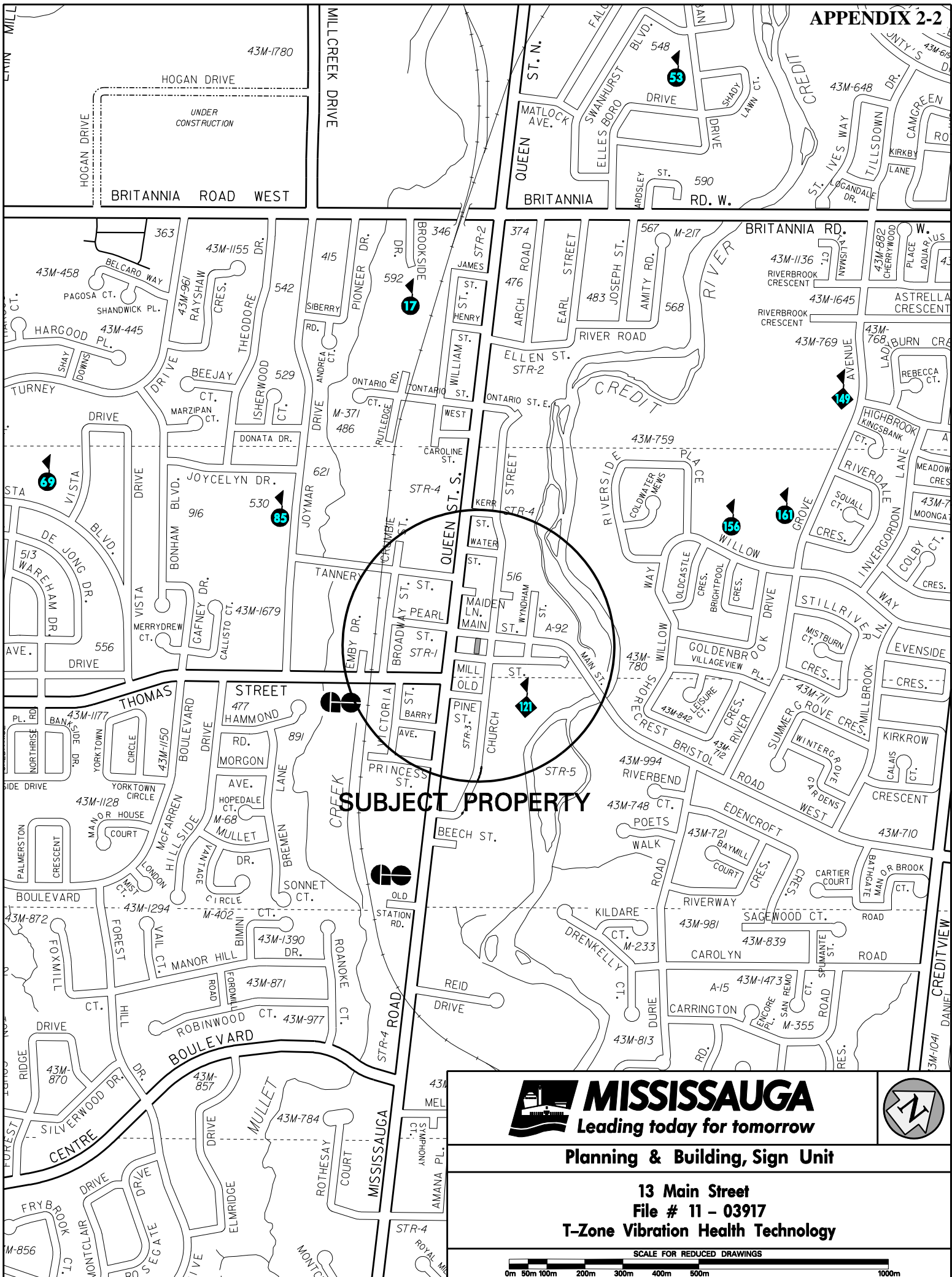
Section 13	Proposed
The sign area of a fascia sign in the special district of Steetsville shall not exceed 15% of the building face of the first storey.	One (1) fascia sign with a sign area equal to 22.7% of the building face, 57 sq. m. (60 sq. ft.).

COMMENTS:

The design guidelines for Historic Streetsville indicate that:

- Fascia signs should be in scale with the buildings upon which they appear and with the heritage character of Historic Streetsville.
- The name or logo of a business should be the only message appearing on the principal sign.
- Hand painted fascia signs are preferred, although raised, carved lettering is also acceptable.
- Lettering should be proportional to the size of the sign. Styles should compliment the architectural style and period of the façade.
- Lighting for signs and building façades should be consistent with historic themes. Back light box signs are strongly discouraged.

The proposed standard box sign is not in keeping with the character or scale of the historic Streetsville area. The scale should be reduced and the sign designed in a manner which compliments the historic architectural style of this area. For these reasons, the Planning and Building Department cannot support the requested variance.



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Planning & Building, Sign Unit

13 Main Street
File # 11 - 03917
T-Zone Vibration Health Technology



**DAVID BROWN
ASSOCIATES**

DEVELOPMENT AND LAND USE CONSULTANTS

A division of 1321936 Ontario Inc.

June 22, 2011

City of Mississauga
300 City Centre Drive
Mississauga, ON
L5B 3C1

Attn: Jeff Grech
Sign Inspector

Dear Jeff;

Re: SGNBLD 11/3917 VAR
13 Main Street
City of Mississauga

With regards to your comments for the above-noted application, please accept this letter as our rationale for the required variances.

The sign for T-Zone Vibration Technology as an area of 5.57m² or 19.7% of the building face. As well, it is located approximately 0.1m higher than the upper limit of the first floor. As such, a variance is requested to permit the sign to remain.

The sign was constructed to be in proportion to the front face of the building. It is similar in size and style to other signs on the street. Also, the larger sign provides the opportunity to be visible from people on Queen Street passing Main Street. This provides another form of publicity and advertisement for the business.

Should you have any questions please do not hesitate to contact me at 905 403 0100 or by email.

Yours truly,
David Brown Associates



David A. Brown

SITE PLAN

PART OF LOT 2, -"LAIDLAW BLOCK"

REGISTERED PLAN STR-4
VILLAGE OF STREETSVILLE
TOWNSHIP OF TORONTO
COUNTY OF PEEL

33'-0"

MILL STREET

PROPERTY LINE 39'-4 1/2"

33'-0"

LOT 1

LOT 2

PROPERTY LINE

146'-11 1/2"

WIRE FENCE

PROPERTY LINE

146'-3"

91'-11 1/2"

3'

EXIST. DECK

16'-0"

36'-4"

EXISTING

1 STOREY BRICK BUNGALOW

EXISTING 1 STOREY

NO. 13 MAIN ST.
EXISTING
1 1/2 STOREY
BRICK HOUSE

2 STOREY
STUCCO HOUSE

PROPOSED SIGN

PROPERTY LINE 38'-6 1/2"

66'-0"

66'-0"

MAIN STREET

SITE INFORMATION: C1
EXISTING GFA: GROUND

933 sq.ft.

EXISTING GFA: SECOND
TOTAL EXISTING GFA

643 sq.ft.
1,576 sq.ft.

project ONE STOREY REAR ADDITION
STREETSVILL'S PREMIER DAY SPA
13 MAIN ST., STREETSVILLE, ONTARIO L4M 1X4
Owners
PANTELOS LEONIS

date : Oct. 2005
scale : 1" = 1/16"
peth : 13 MAIN ST.

project # : 08-2003
drawn by : A. Blanes
checked : checked

drawing:
SITE PLAN
SP1

11.3917



EXISTING NORTH / FRONT ELEVATION

	T-ZONE	T-ZONE DRAWING 1 .PDF	1"=3/16"	JAN 30, 2011			
Drawing	Client	File Name	Scale	Date Issued	Date revised		email

1.0

© copyright 2009



13 Main Street
North Elevation