



Corporate Report

Clerk's Files

Originator's
Files

BL.03-SIG (2008)

DATE: April 8, 2008

TO: Chair and Members of Planning and Development Committee
Meeting Date: April 28, 2008

FROM: Edward R. Sajecki
Commissioner of Planning and Building

SUBJECT: **Sign By-law 0054-2002, as amended**
Sign Variance Applications

RECOMMENDATIONS: That the Report dated April 8, 2008 from the Commissioner of Planning and Building regarding Sign By-law 0054-2002, as amended, and the requested three (3) Sign Variance Applications described in Appendices 1 to 3 to the Report, be adopted in accordance with the following:

1. That the following Sign Variances **be granted**:

- (a) Sign Variance Application 07-08010
Ward 5
Laura
5935 Mavis Road

To permit the following:

- (i) One (1) fascia sign not located on the unit occupied by the business.
- (b) Sign Variance Application 08-00403
Ward 5
Softmoc
5885 Rodeo Drive

To permit the following:

- (i) One (1) fascia sign not located on the unit occupied by the business.
- (c) Sign Variance Application 08-00119
Ward 8
Nine Clouds
2273 Dundas Street West

To permit the following:

- (i) Three (3) fascia signs having a total area of 21.66% (25.8 sq. m (278 sq.ft.)) of the building façade on which the signs are located.

BACKGROUND:

The *Municipal Act* states that Council may, upon the application of any person, authorize minor variances from the Sign By-law if in the opinion of Council the general intent and purpose of the By-law is maintained.

COMMENTS:

The Planning and Building Department has received three (3) Sign Variance Applications (see Appendices 1 to 3) for approval by Council. Each application is accompanied by a summary page prepared by the Planning and Building Department which includes information pertaining to the site location; the applicant's proposal; the variance required; an assessment of the merits (or otherwise) of the application; and a recommendation on whether the variance should or should not be granted.

FINANCIAL IMPACT:

Not applicable.

CONCLUSION:

Council may authorize minor variances from Sign By-law 0054-2002, as amended, if in the opinion of Council, the general intent and purpose of the By-law is maintained. Sign By-law 0054-2002, as amended, was passed pursuant to the *Municipal Act*. In this respect, there is no process to appeal the decision of Council to the Ontario Municipal Board, as in a development application under the *Planning Act*.

ATTACHMENTS:

Laura
Appendix (1-1 to 1-5)

Softmoe
Appendix (2-1 to 2-7)

Nine Clouds
Appendix (3-1 to 3-6)

Edward R. Sajecki
Commissioner of Planning and Building

Prepared By: Darren Bryan, Supervisor Sign Unit



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

April 8, 2008

FILE: 07-08010

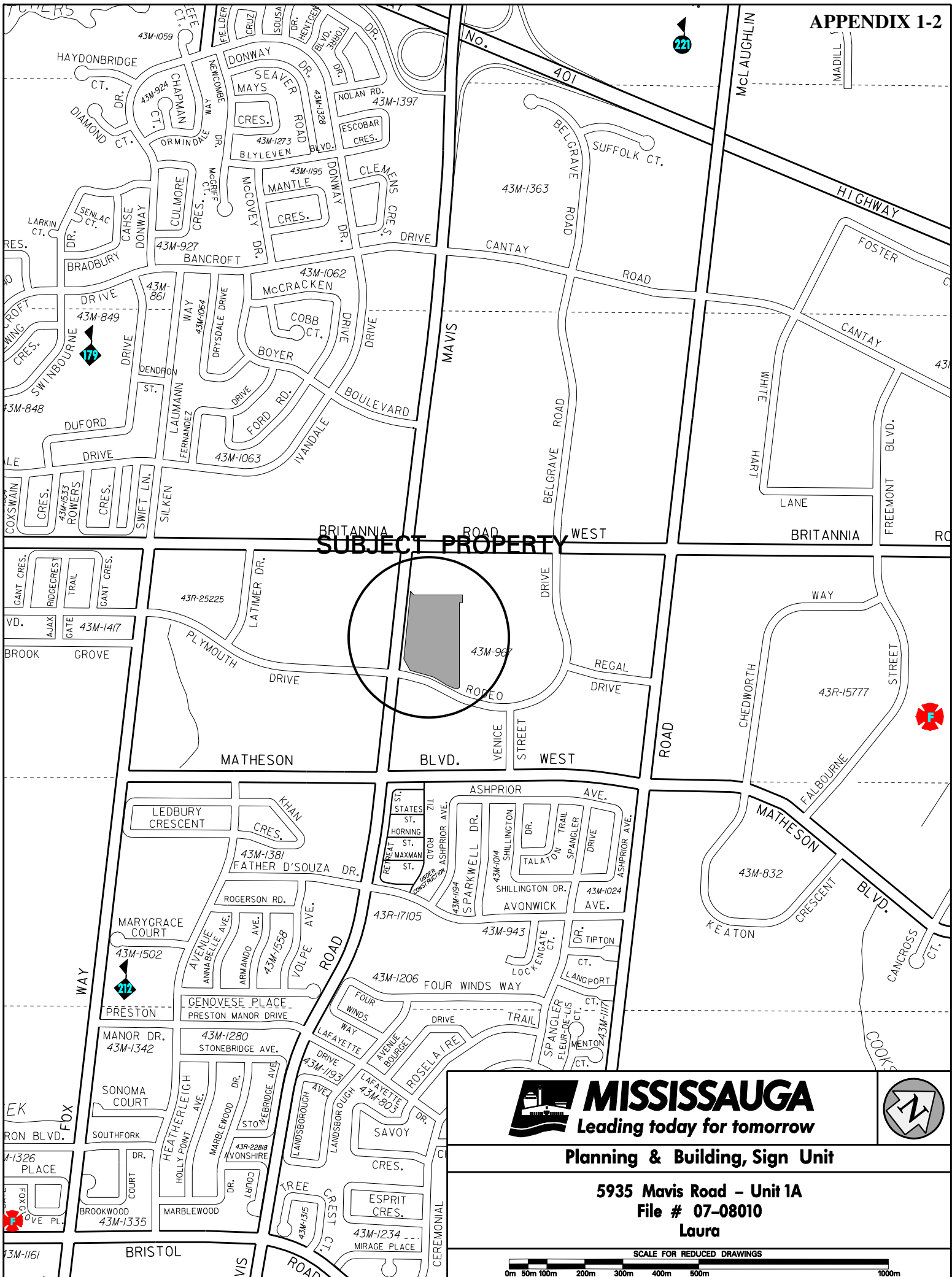
RE: Laura
5935 Mavis Road – Ward 5

The applicant requests the following variance to section 13 of the Sign By-law 0054-2002, as amended.

Section 13	Proposed
A fascia sign must be located on the unit occupied by the business	One (1) fascia sign not located on the unit occupied by the business.

COMMENTS:

The proposed variance is for a fascia sign located on the rear elevation of the building, however not on their unit. The proposed sign is located on a large blank wall. The only other sign on the wall is the tenant's fascia sign – Adidas. The proposed sign is of similar design and size as the Adidas sign and is well placed on the elevation. Throughout the Heartland Centre, there are a number of similar signs on the rear elevation of other buildings. The Planning and Building Department therefore finds the variance acceptable from a design perspective.



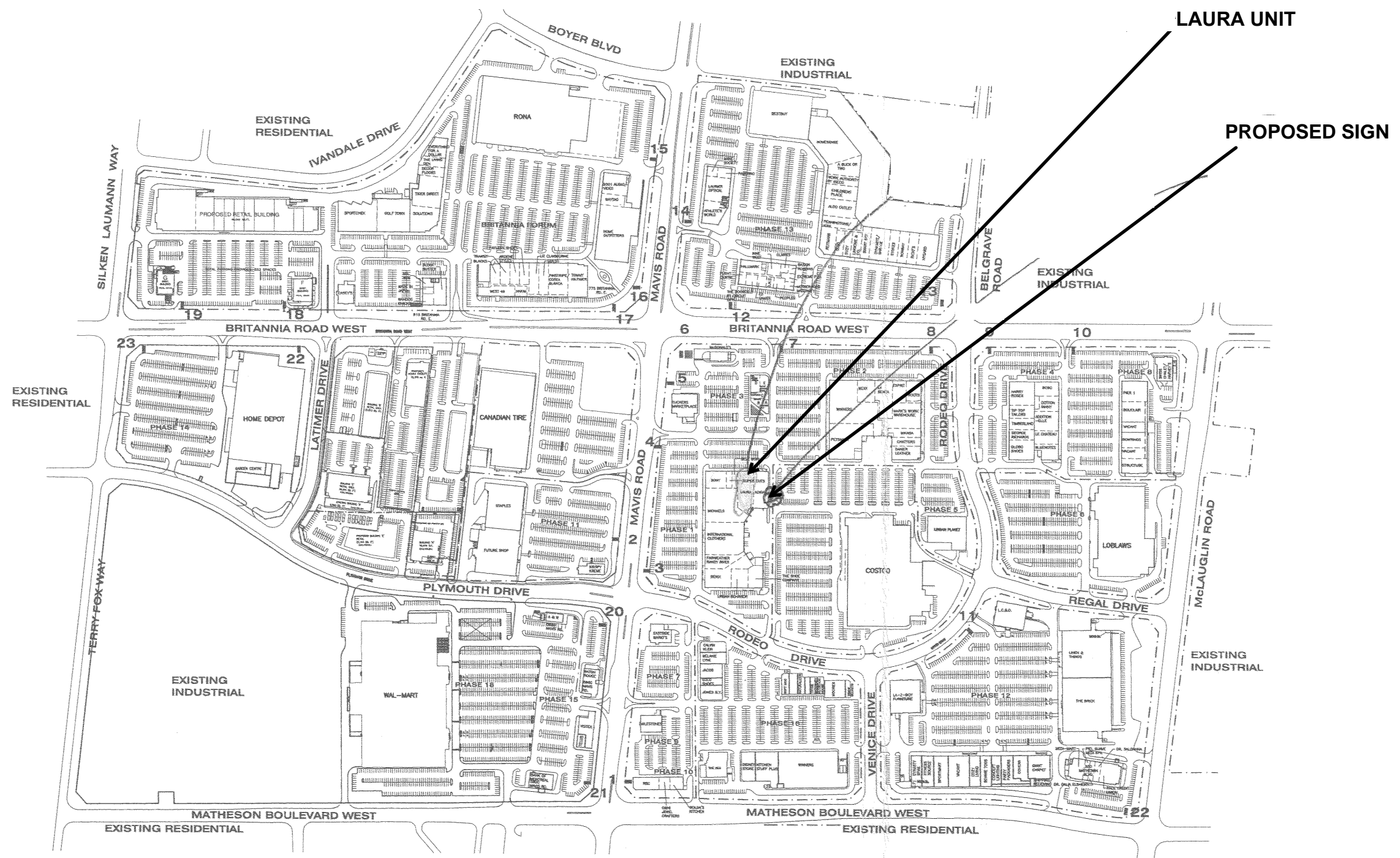
MISSISSAUGA
Leading today for tomorrow

Planning & Building, Sign Unit

5935 Mavis Road - Unit 1A
File # 07-08010
Laura



HEARTLAND TOWN CENTRE



THE DOCUMENT SHALL REMAIN THE PROPERTY OF ORLANDO CORPORATION. THE CLIENT SHALL BE PROVIDED WITH A COPY FOR INFORMATION AND REFERENCE ONLY. THIS DOCUMENT SHALL BE DESTROYED AND NOT REPRODUCED BY OTHERS WITHOUT WRITTEN CONSENT OF ORLANDO CORPORATION.

ORLANDO CORPORATION
8000 AIRPORT ROAD MISSISSAUGA
ONTARIO L4T 1B5
TELEPHONE: (905) 677-5480
FAX NO.: (905) 677-2884

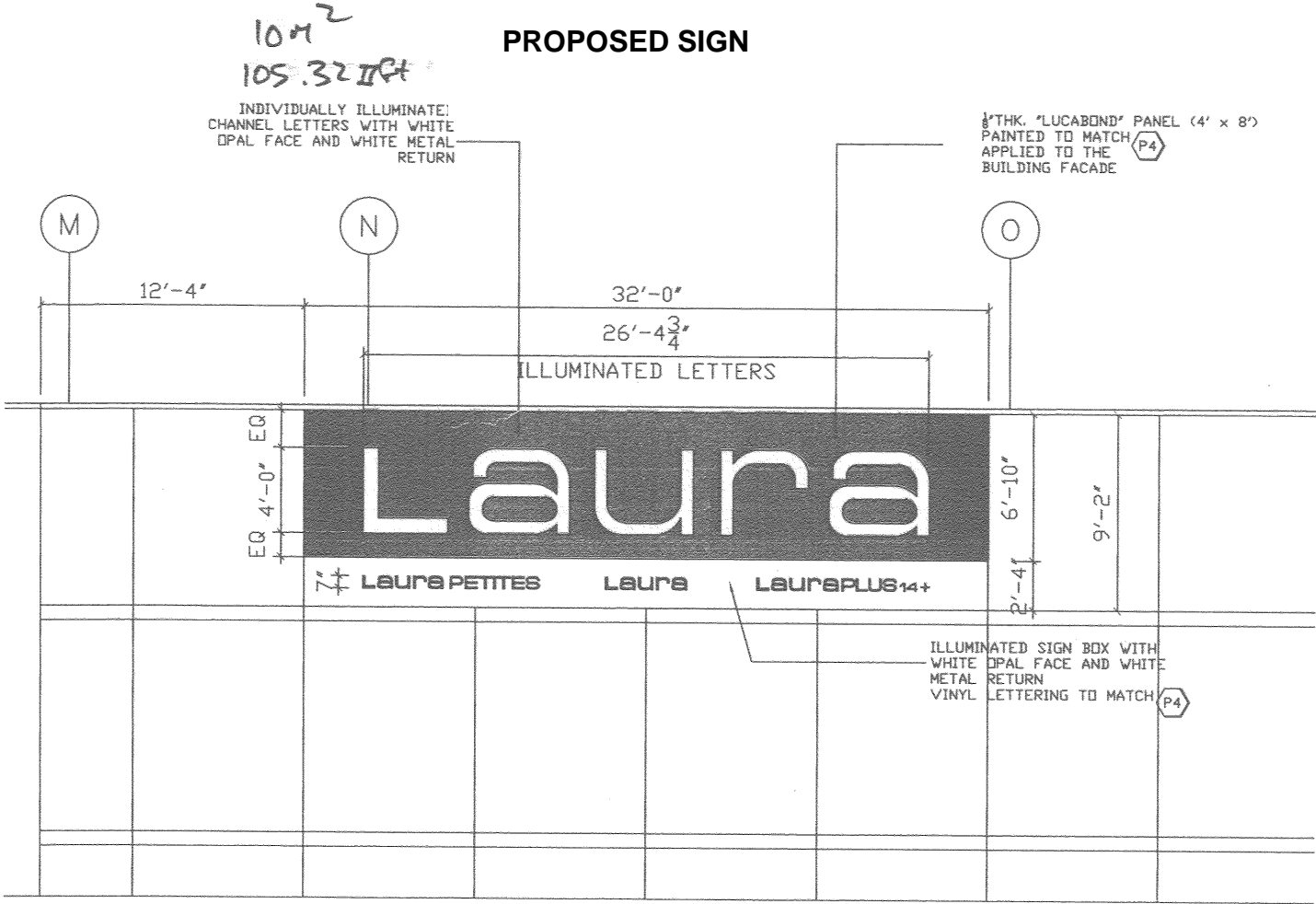
SCALE: 1: 4000 DATE: SEPT. 24 2007

FILE: HEARTLAND TOWN CENTRE LEASING PLAN/NO

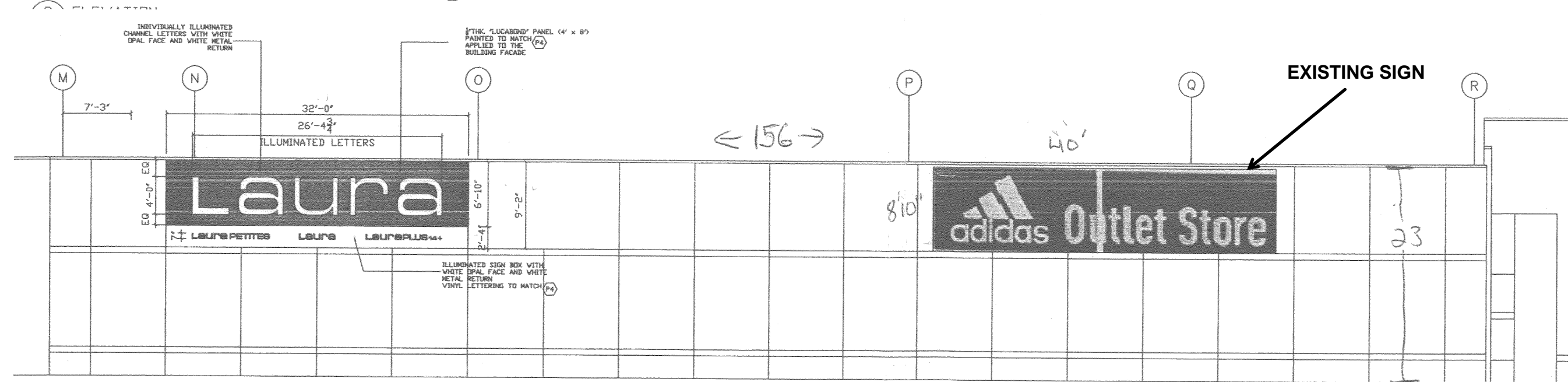
HEARTLAND TOWN CENTRE
MISSISSAUGA ONTARIO

SHEET TITLE: **SITEPLAN**

PROPOSED SIGN



2 ELEVATION - SIDE
3/16"=1'-0"



Lauracanada

FINISH LEGEND

- CERAMIC TILE
- (C1) 4" x 4" CERAMIC TILE
HABITAT CREMA BY CIOT
GROUT: ALMOND # 48 BY MAPEI
CONTACT: GHISLAINE GOLDING
TEL: (514) 382-5180
 - (C2) 13" x 13" CERAMIC TILE
HABITAT BLANCO BY CIOT
GROUT: ALMOND # 48 BY MAPEI
CONTACT: GHISLAINE GOLDING
TEL: (514) 382-5180
- VINYL
- (V1) 4" x 39" VINYL FLOORING
TEAK # W699E BY ARTECA
CONTACT: ANDREE PELRICAND
PELLICAND SPEC.
TEL: 514 918 7433
(SEE NOTES)
 - (V2) 19 1/2" x 19 1/2" VINYL
FLOORING
HONED LIMESTONE # X-GS14
BY "AMTICO" STRATICA
CONTACT: ANDREE PELRICAND
PELLICAND SPEC.
TEL: 514 918 7433
(SEE NOTES)
 - (V3) 12" x 12" VINYL FLOORING
ASH GRAY # 51925
STANDARD EXCELDON BY
ARMSTRONG (STOCKROOM)
- PAINT
- (P1) WALL PAINT
BENJAMIN MOORE
SNOWFALL WHITE# DC-118
PEARL FINISH
 - (P2) CEILING PAINT
BENJAMIN MOORE
SILVER FOX # 2108
PEARL FINISH
 - (P3) FITTING ROOM PAINT
BENJAMIN MOORE
SNOWFALL WHITE# DC-118
WASHABLE OIL FINISH
 - (P4) ACCENT PAINT
BENJAMIN MOORE
BLUSHING RED # 2079-20
EGGSHELL FINISH
 - (R1) WALL COVERING
(WASHROOM)
54"/15 OZ. # EG-05-02
BY EGAN-LAING INC.
CONTACT: SONIA HENRI
TEL: (514) 335-7006
- LACQUER
- (L1) LACQUERED WOOD
2 COATS OF PRE
CATALISED
LACQUER (50 % SHEEN)
TO MATCH #DC-39 TIMID
WHITE BY BENJAMIN
MOORE. SAMPLE TO BE
APPROVED
BY DESIGNER
 - (V1) SELECT No.1 GRADE A
SOLID / VENEER MAPLE
STAINED TO MATCH "ML2"
 - (ML1) MELAMINE PANEL
NEW ENGLAND ALMOND
#920 W/ APPLIED
MATCHING EDGING BY
PANVAL FROM UNIBOARD
C/W APPLIED MATCHING
EDGE
 - (ML2) MELAMINE PANEL
REGAL CHERRY # 978
SUPER MAT FINISH W/
APPLIED MATCHING EDGE
BY PANVAL FROM
UNIBOARD C/W APPLIED
MATCHING EDGE
- WOOD
- MELAMINE PANEL

GENERAL NOTES

1-THE DRAWINGS MUST NOT BE TO SCALE
2-THE CONTRACTORS SHALL VERIFY ALL
FIELD MEASUREMENTS AND LEVEL PRIOR
TO COMMENTS OF WORK ANY ERRORS
MUST BE REPORTED TO THE DESIGN
OFFICE IMMEDIATELY.
3-ALL WORK TO BE CARRIED OUT
ACCORDING TO ALL RELEVANT BUILDING
CODES, STANDARDS AND PRE
SPECIFICATIONS ISSUED BY THE OFFICE.
4-THESE REMARKS SHALL APPLY TO ALL
DRAWINGS AND SCHEDULES
5-THE CONTRACTOR MUST OBTAIN
CONSTRUCTION PERMITS REQUIRED BY
ALL RELEVANT AUTHORITIES BEFORE THE
WORK.
6-IN CASE OF DISCREPANCIES, IN
DETAILING THE BUILDING STANDARDS
SHALL GOVERN
7-FOR DETAILS REFER TO DOOR
SCHEDULES OR DETAILED DRAWINGS.
8-IF ANY MINIMUM DIMENSIONS CANNOT
BE RESPECTED, CONTACT THE DESIGN
OFFICE.
9-ALL CONCEPTS, DRAWINGS AND
SPECIFICATIONS ARE THE EXCLUSIVE
PROPERTY OF THE DESIGN OFFICE AND
CAN ONLY BE REPRODUCED WITH A
WRITTEN PERMISSION.

NO. REVISION / ISSUED. DATE.

PROJECT

HEARTLAND TOWN CENTRE
MISSISSAUGA, ON
5935 MAVIS ROAD, UNIT

DESIGNERS

Roxanne Villeneuve
ROXANNE.VILLENEUVE@LAURA.CA

Giovanna Terrasi
GIOVANNA.TERRASI@LAURA.CA



DRAWING

STOREFRONT
ELEVATIONS

DRAWN BY
GT

VERIFIED BY

SCALE: 3/32"=1'-0"

DATE: Sept. 18, 07

D1



Drawing No:
07-105.DETAIL

Filename:

LAURA-INT-CHNL-LTRS

Client's Name & Address:

Laura Petites

Description:

Illuminated Interior Ind. Channel Letters & Illum. Sign Box Detail

Salesman:

Don Goss

Drawn By:

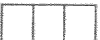
Danielle R

Date Drawn/Created:

02-November-2007

Scale Factor:

Revision No. & Date:



Proposed/ Drawn/ Created by:

Roberts
Awning
& Signs

40 Belvia Road, Toronto

Ontario M8W 3R3

Phone: (416) 252-7394

Fax: (416) 252-0268

Website: www.roberts-inc.com

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SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

April 8, 2008

FILE: 08-00403

RE: Softmoc
5885 Rodeo Drive - Ward 5

The applicant requests the following variance to section 13 of the Sign By-law 0054-2002, as amended.

Section 13	Proposed
A fascia sign must be located on the unit occupied by the business	One (1) fascia sign not located on the unit occupied by the business.

COMMENTS:

The proposed variance is for a fascia sign located on the wall of the garbage room of the building. The garbage room is located at the rear of the unit occupied by Softmoc. Since the garbage room is a common element for the building, the proposed sign is not considered to be located on the unit occupied by Softmoc. If this portion of the building was occupied by Softmoc, the proposed sign would comply with the Sign By-law. The Planning and Building Department considers the variance within the intent of the Sign By-law and therefore acceptable.

Reasons for Sign Variance for Softmoc at 5885 Rodeo Drive, Mississauga

Nature of Sign

The proposed fascia sign for sign variance is at the rear side of retail shop (Softmoc) and it is for identification and exposure to public on Rodeo Drive.

Purpose of Sign

This proposed sign is the ONLY ONE sign facing the main street Rodeo Drive. The other 2 signs approved are facing parking lot. It can direct potential customers from a busy street to the complex. The absence of this sign will cause customer inconvenience as they must go into the complex first and then drive seeking for Softmoc inside the parking lot. This will cause traffic congestion inside the parking lot during peak hours.

Inside the complex, one of the shop "Ecco" has 1 sign facing parking lot and another one facing main street Mavis Road. Have an illuminated channel letter sign "Softmoc" installed at rear side of the building will relief from losing Softmoc's competitive power with other retail shops.

BLVD.

MISSISSAUGA

Planning & Building, Sign Unit

5885 Rodeo Drive

File # 08-00403

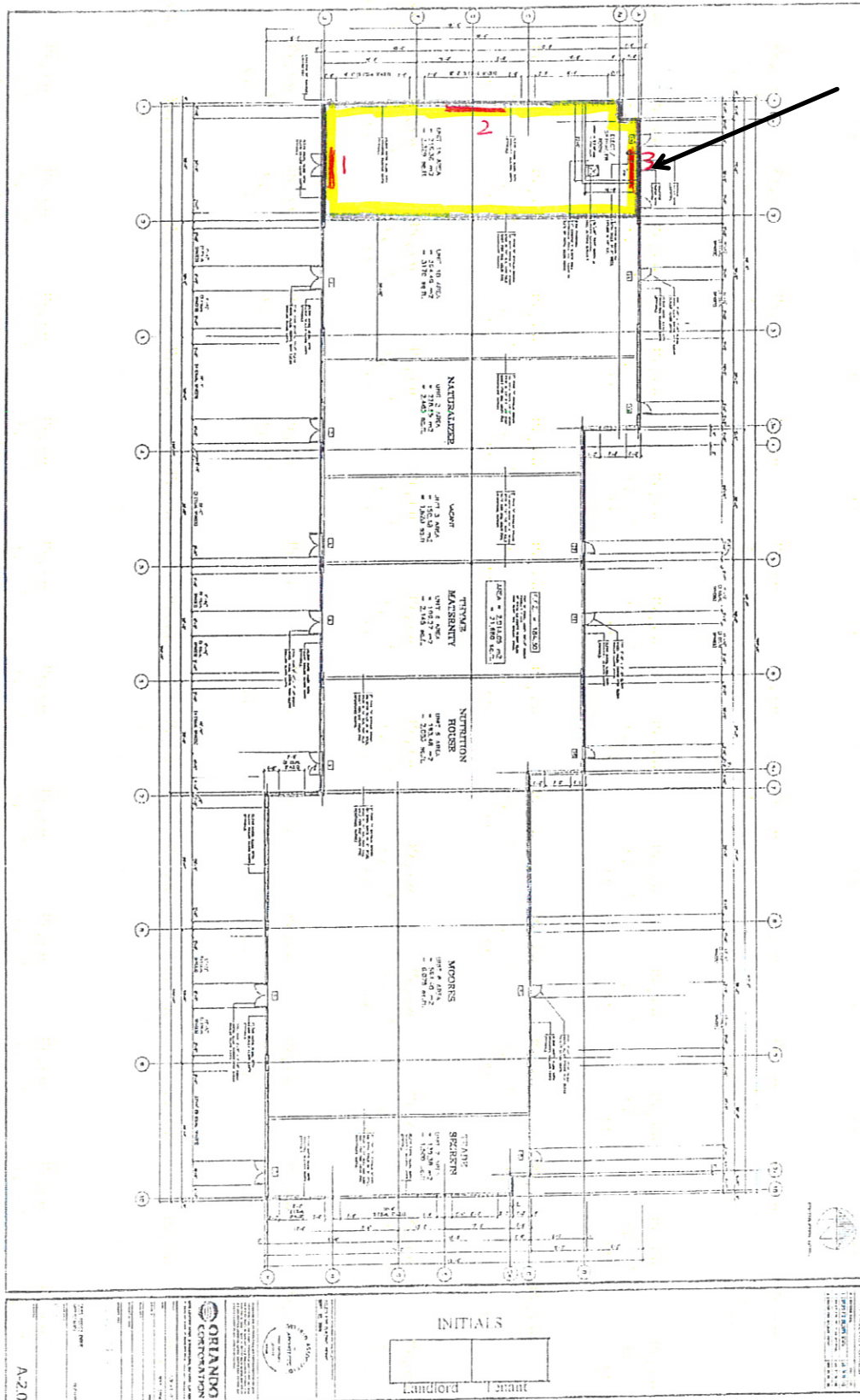
Softmoc

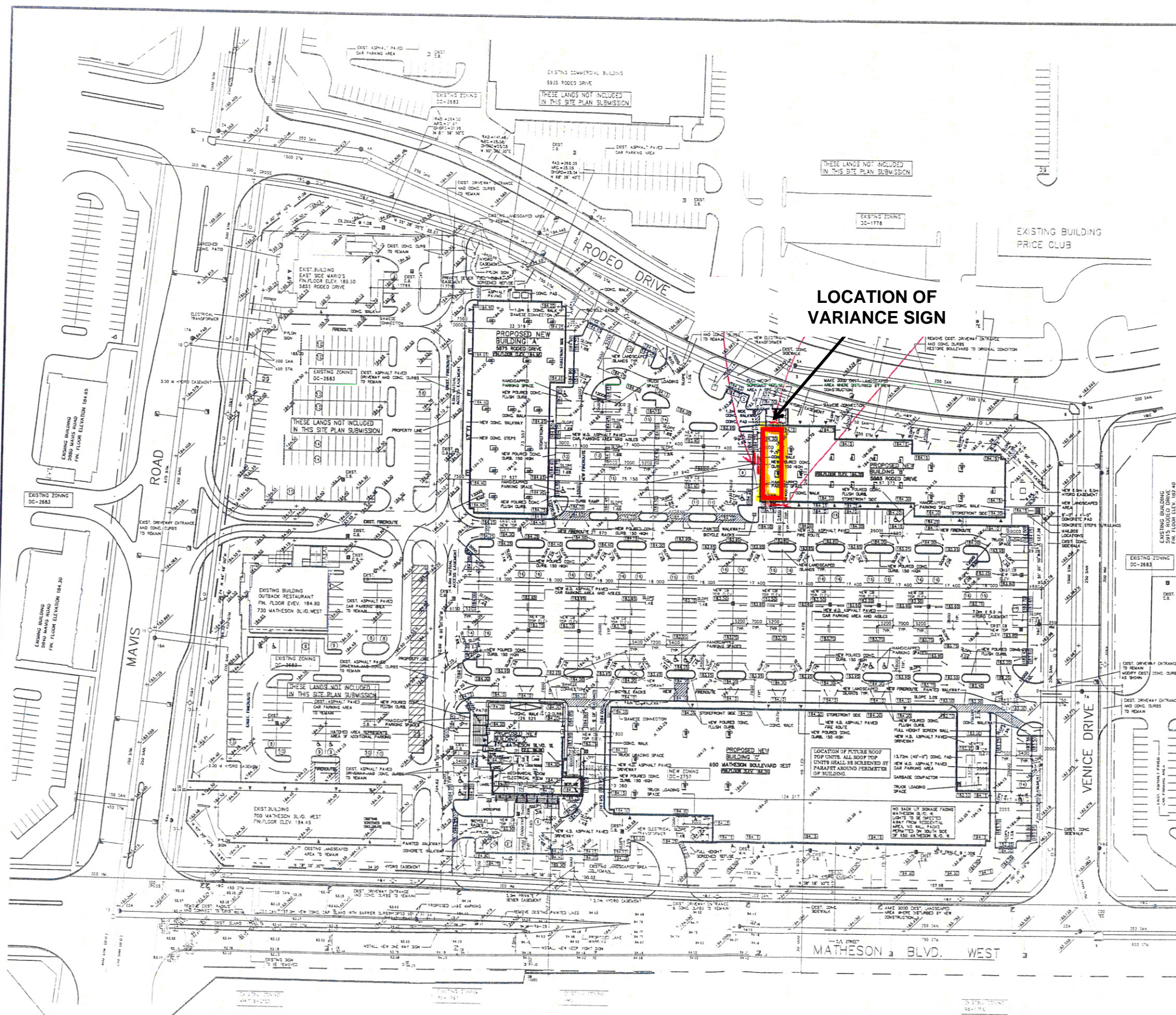
SCALE FOR REDUCED DRAWINGS



SCHEDULE "B"

LOCATION OF
VARIANCE SIGN





LOCATION OF VARIANCE SIGN

SITE STATISTICS				
NEW TOWNS ON THIS SITE: 50-1733				
CONTRACTING FIRM: "NEW SITE" 225 41				
CONTRACTING FIRM: "NEW SITE" 225 41				
SITE				
SITE AREA BY ORIGINAL OWNER DEPT				
METRIC		APPROX		
37,777.00 SQ	8,215.0000	WIDE	BLDING AREA	BLDING AREA
37,777.00 SQ	406.844 SQ	DEVELOPMENT	DEVELOPMENT	DEVELOPMENT
BUILDING AREAS				
NEW RETAIL STORE #	5875 ROGERS DRIVE			
NEW RETAIL STORE #	1	2,180.47	23,579.57	1,558.15
NEW RETAIL STORE #	1	2,214.14	21,860.50	1,581.12
NEW RETAIL STORE #	1550 AMY WILSON BOWLING WEST	2,028.16	36,812.57	1,487.14
NEW RETAIL STORE #	870 AMY WILSON BOWLING WEST	873.52	8,428.57	873.52
CONTRACTING FIRM: "NEW SITE" 225 41				
CONTRACTING FIRM: "NEW SITE" 225 41				

BUILDING COVERAGE	12,618.68	=2	112,947 S.F.	28.11 %
LANDSCAPED AREA	6,758.25	=2	73,294 S.F.	17.89 %
PAVED AREA	20,400.17	=2	218,589 S.F.	54.20 %

PARKING (ADJACENT WEST PROPERTY - NOT PART OF THIS APPLICATION)

		REQUIRED	PROVIDED
5655 RODEO DR. (EXISTING EAST SIDE MARIO'S RESTAURANT)	5.4 ± 2 per 100 ± 2 at 2.5 A. (852 ± 2)	18.2 CARS	
730 WATSON BLVD. W. (EXISTING OUTBACK RESTAURANT)	5.4 ± 2 per 100 ± 2 at 2.5 A. (371 ± 2)	30.8 CARS	
700 WATSON BLVD. W. (EXISTING MULTICOMMERCIAL BUILDING)	5.4 ± 2 per 100 ± 2 at 2.5 A. (361 ± 2)	52.0 CARS	
		118.1 CARS	251 CARS

PARKING ALLOCATED TO ADJACENT EAST PROPERTY (PROPOSED DEVELOPMENT)	15 CARS
TOTAL PARKING	136 CARS

PARKING	
NEW RETAIL STORE "A" 5875 ROOSE DRIVE 5.4 PER 100 sq. ft. (2116 sq. ft.)	118.5 CARS
	133.5 CARS

NEW RETAIL STORE "B"	5885 RODEO DRIVE	5.4 PER 100 sq. ft. of G.F.A. (1,881.53 sq. ft.)	167.0 CARS
NEW RETAIL STORE "C"	850 WATSON BLVD. WEST	5.4 PER 100 sq. ft. of G.F.A. (1,487.04 sq. ft.)	281.3 CARS
NEW RESTAURANT STORE "D"	870 WATSON BLVD. WEST	5.4 PER 100 sq. ft. of G.F.A. (875.33 sq. ft.)	47.3 CARS
HANDICAPPED PARKING 1% OF REQUIRED (INCL. IN ABOVE)			6 CARS
TOTAL PARKING			567.1 CARS
ADDITIONAL PARKING FROM ADJACENT WEST PROPERTY			25 CARS

TOTAL PARKING (INCLUDING ADDITIONAL PARKING)		571 CARS
LOADING		
NEW RETAIL STORE "A"	5875 RODEO DRIVE	1.5 SPACE UP TO 2,150 sq. ft. OF T.F.A.
NEW RETAIL STORE "B"	5885 RODEO DRIVE	1.5 SPACE UP TO 2,150 sq. ft. OF T.F.A.
NEW RETAIL STORE "C"	850 MAGNOLIA BLVD. (W. OF WEST 70 STREET)	2.5 SQ. FT. OF T.F.A.

NEW RESTAURANT STORE D' 870 WATHESON BOULEVARD WEST

4 SPACES	4 SPACES
1 SPACE	1 SPACE
5 SPACES	7 SPACES

LEGEND

MIN. DRIVEWAY WIDTH (WITHIN PARKING AREA) 7000
MIN. SIZE PARKING SPACE 1 600 X 5 300
MIN. SIZE LOADING SPACE 1 500 X 3 300

ALL DRIVES SHALL BE PAVED

MEDIUM DUTY (M.D.) ASPHALT PAVING SHALL BE - 40 HLB BASE ASPHALT
- 40 HLB SURFACE ASPHALT

HEAVY DUTY (H.D.) ASPHALT PAVING SHALL BE

- 300 LIMESTONE AND GRAVEL BASE
- 50 HLB BASE ASPHALT
- 40 HLB SURFACE ASPHALT
- 450 LIMESTONE AND GRAVEL BASE

X 100.00 INDICATES EXISTING GRADES

INDICATES EXISTING GRADES TO REMAIN

184.00 INDICATES NEW FINISHED GRADE LEVELS

MUNICIPAL NOTES

AT THE ENTRANCES TO THE SITE THE MUNICIPAL SIDEWALK AND CURB WILL BE CONTIGUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING OR FUTURE SIDEWALK AND A SURF DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.

FOR LANDSCAPE DETAILS REFER TO PLANS PREPARED BY LANDSCAPE ARCHITECT.

FIRE ROUTES SHALL BE DESIGNATED AS PER BY-LAW 1036-81 AS AMENDED PRIOR TO OCCUPANCY OF THE

ALL FIRE ACCESS ROUTES SHALL BE CONSTRUCTED OF HARD SURFACE MATERIAL SUCH AS ASPHALT, CONCRETE OR ROCKSTONE AND DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11,363 kg PER WHEEL AND HAVE A CHANGE IN GRADE OF NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M.

CONTRACTOR TO REPAIR AND MAKE GOOD ANY PROPERTY AFFECTED DURING CONSTRUCTION. THE STORAGE OF WASTE IN FREE STANDING BINS OR IN OUTDOOR AREAS IS NOT PERMITTED.

ON-SITE WASTE COLLECTION WILL BE DONE THROUGH A PRIVATELY ARRANGED CONTRACTOR. THERE SHALL BE NO CURBSIDE WASTE COLLECTION. FRONT DOOR WASTE COLLECTION.

METHOD OF WASTE COLLECTION: COMPACTOR - FRONT END LOADER.
GRADES WILL BE SET WITHIN A SIX PERCENT SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
DREWEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
THE ORIGINAL GRADE WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK AND A CURB VERMONTING WILL

ALL ROOF TOP MECHANICAL UNITS SHALL BE SCREENED FROM VIEW BY THE APPLICANT.

ALL EXTERIOR LIGHTING WILL BE DIRECTED TOWARD THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.

THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 10' IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND IS TO BE APPROVED BY CONSULTING ENGINEER FOR THE PROJECT.

I HEREBY CERTIFY THAT THE PROPOSED GRADERS AND APPURTENANT DRAINAGE WORKS, COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED DRAINAGE IS IN CONFORMITY WITH THOSE OF THE ADJACENT LAND FOR DRAINAGE AND RELATIVE ELEVATIONS.

ALL EXISTING ELEVATIONS SHOWN WERE DERIVED FROM MISSISSAUGA BENCH MARK NO. _____ ELEV. _____

PAVING (SPACE)S RESERVED FOR THE PHYSICALLY HANDICAPPED MUST BE IDENTIFIED BY A SIGN INSTALLED AT THE UP-PAVEMENT DISPOSED, IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS OF _____

FIGURE 1 TO SCHEDULE 1 OF ST-LAW 154-63.

THE TOP OF ANY CURBS BORDERING DRIVEWAYS WITHIN THE MUNICIPAL BOUNDARY WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.

I HEREBY CERTIFY THAT THIS DRAWING COMPLIES IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER 12.

THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION IS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED

REPRESENTATION IS BEING SUBMITTED TO THE CITY OF WHEELING IN CONNECTION WITH AN APPLICATION FOR TOPSOIL REMOVAL PERMIT UNDER THE TOPSOIL PRESERVATION ACT (PA 90-312-21).

THE APPLICANT WILL BE RESPONSIBLE FOR ENSURING ALL PLANS CONFORM TO TRANSPORT CANADA'S RESTRICTIONS.

ALL DAMAGED AREAS ARE TO BE RESTORED WITH TOP SOIL AND TOP SOIL PRIOR TO THE RELEASE OF DECOMPLETION.

DONAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY. ALL DONTS WILL BE SUBJECT TO THE DISCRETION OF DON. IF A DON 2002 IS USED, A SEPARATE DON APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DEPARTMENT.

REVISONS / ISSUES			
#	REVISION / ISSUE	DATE	BY
1	ISSUED FOR SITE PLAN APPROVAL	JUL 27 '06	PL
2	ISSUED BUILDING & TREE PROTECT	SEP 5 '06	PL
3	BUILDING & TREE PROTECT	SEP 8 '06	PL
4	BUILDING & TREE PROTECT	SEP 22 '06	PL
5	BUILDING & TREE PROTECT	SEP 26 '06	PL
6	REVISED FOR MATERIAL COMMENTS	OCT 17 '06	PL
7	REVISED FOR BLDG. & TREE PROTECT	NOV 16 '06	PL
8	REVISED FOR CITY'S COMMENTS	JAN 18 '07	PL
9	REVISED FOR CITY'S COMMENTS	JAN 31 '07	PL
10	REVISED FOR CITY'S COMMENTS	FEB 15 '07	PL
11	ISSUED FOR BLDG. & CONSTRUCTION	FEB 27 '07	PL
12	REVISED FOR BLDG. & CONSTRUCTION	FEB 27 '07	PL
13	REVISED FOR BLDG. & CONSTRUCTION	FEB 27 '07	PL
14	REVISED FOR BLDG. & CONSTRUCTION	FEB 27 '07	PL
15	REVISED FOR BLDG. & CONSTRUCTION	MAR 12 '07	PL
16	REVISED FOR CITY'S COMMENTS	MAR 27 '07	PL
17	REVISED FOR CITY'S COMMENTS	APR 25 '07	PL
18	REVISED FOR COUNCIL DECISION	MAY 27 '07	PL
19	REVISED PARKING SPACES	JUN 28 '07	PL
20	REVISED PARKING SPACES	JUN 28 '07	PL
21	REVISED PARKING SPACES	JUN 28 '07	PL
22	REVISED FOR CITY'S COMMENTS	AUG 27 '07	PL
23	REVISED FOR CITY'S COMMENTS	OCT 14 '07	PL

SPECIFICATIONS FOR THE PROTECTION AND PRESERVATION OF EXISTING VEGETATION

All existing trees which are to remain shall be protected with a minimum of 10' x 10' erected beyond the drip line to the satisfaction of the Planning and Building Department prior to the issuance of the building permit. Groups of trees and other existing vegetation shall be protected with hoarding around the entire area. Areas within the protective lining shall remain undisturbed and shall not be used for the storage of building materials or equipment.

No ripping cables shall be wrapped around or fastened in the trees and surplus soil, equipment, or materials shall not be placed over root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist.

The developer or agents shall take every precaution necessary to prevent damage to the vegetation to be retained.

Where limbs or portions of trees are removed to accommodate construction, they will be removed in accordance with accepted arboriculture practice.

Where root systems of protected trees adjacent to construction are exposed or damaged they shall be neatly trimmed and the area backfilled with appropriate material to prevent desiccation.

Where necessary, vegetation will be given an overall pruning to restore the distance between roots and top growth, or to restore its appearance.

Trees that have died or have been damaged beyond repair shall be removed and replaced with the same species with trees of a size and species approved by the Planning and Building Department.

If grades around trees to be protected are to change, the owner will be required to take precautions such as any sealing, retaining walls, and root feeding to the satisfaction of the Planning and Building Department.

The applicant is responsible for ensuring that Tree Protection Hoarding is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Department. No materials (building materials, soil, etc.) may be stockpiled adjacent to areas of hoarding. Failure to maintain the hoarding as originally submitted or the storage of materials with the hoarding will be cause for the letter of credit to be held for two (2) years following completion of all site works.

OWNER/APPLICANT _____ DATE _____

THIS DRAWING IS TO BE USED FOR THE FOLLOWING PURPOSE:
 RE-ISSUED FOR S.P.A. _____ 06-01-07

ONTARIO ASSOCIATION
 OF ARCHITECTS
 IVAN WORSION
 LICENSE
 4195

DESIGNER AND SPECIFICATIONS ARE THE PROPERTY OF ORLANDO CORPORATION. NO PARTS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ORLANDO CORPORATION.

ORLANDO CORPORATION

5225 AIRPORT ROAD, MISSISSAUGA, ONTARIO, CAN. L4V 1S3
 TEL: (905) 271-5400 FAX: (905) 271-2824 www.orlandocorp.com

SCALE _____ 1:500

DATE _____ JULY 2005

DRAWN BY _____ MGB

CHECKED BY _____ MGB

PROJECT NUMBER _____ HRT05010 2H

PROJECT TITLE _____

NEW RETAIL BUILDINGS
 5875 MIDLAND AVE. 30000 DRIVE
 570 MATHESON BOULEVARD WEST
 550 MATHESON BOULEVARD WEST
 MISSISSAUGA _____ ONTARIO _____

SHEET TITLE _____

SITE PLAN

FORWARD SIGNS INC.
 4144 Midland Avenue, Scarborough,
 Ontario, M1V 4S7
 Tel: (416) 291-4477
 Fax: (416) 291-4678
 E-mail: info@forwardsign.com

CLIENT

HEARTLAND TOWN CENTRE
 PROJECT

FORM BOX

DRAWN BY

SEAN

FILE NAME

FORM BOX-S1 ELEV

DATE OF DRAWING

NOV27, 2007

SCALE

SALESMAN

SIMON/SHIRLEY

ELECTRICAL REQUIREMENT

☒ 120 VOLT. 1500W./SET.
☐ 347

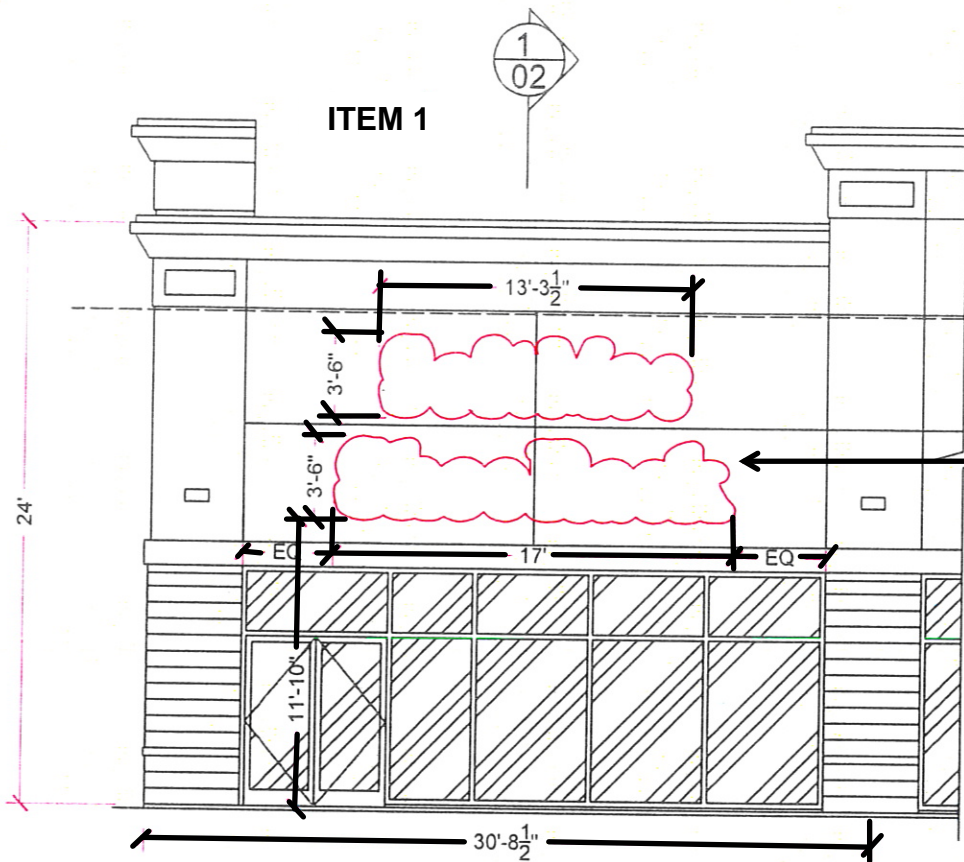
REMARKS

WEIGHT OF SIGN: 240LBS/SET

CLIENT APPROVED / DATE

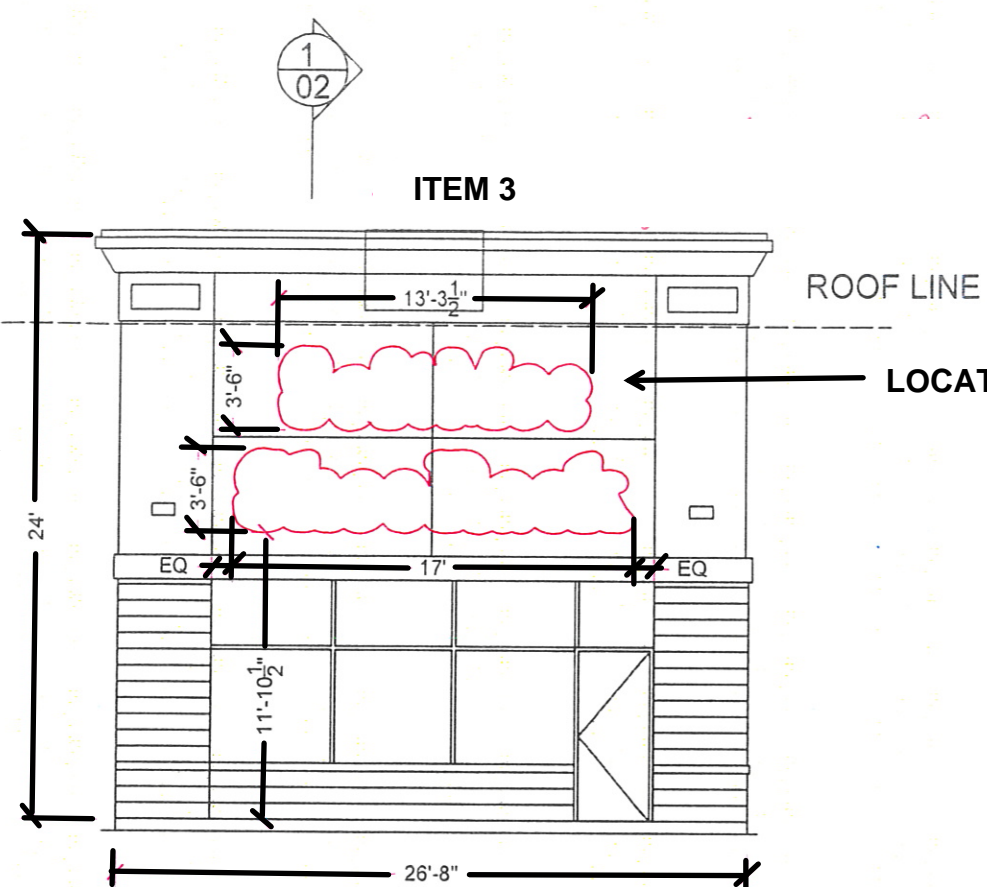
ART DEPT. APPROVED / DATE

ISO 9001-2000



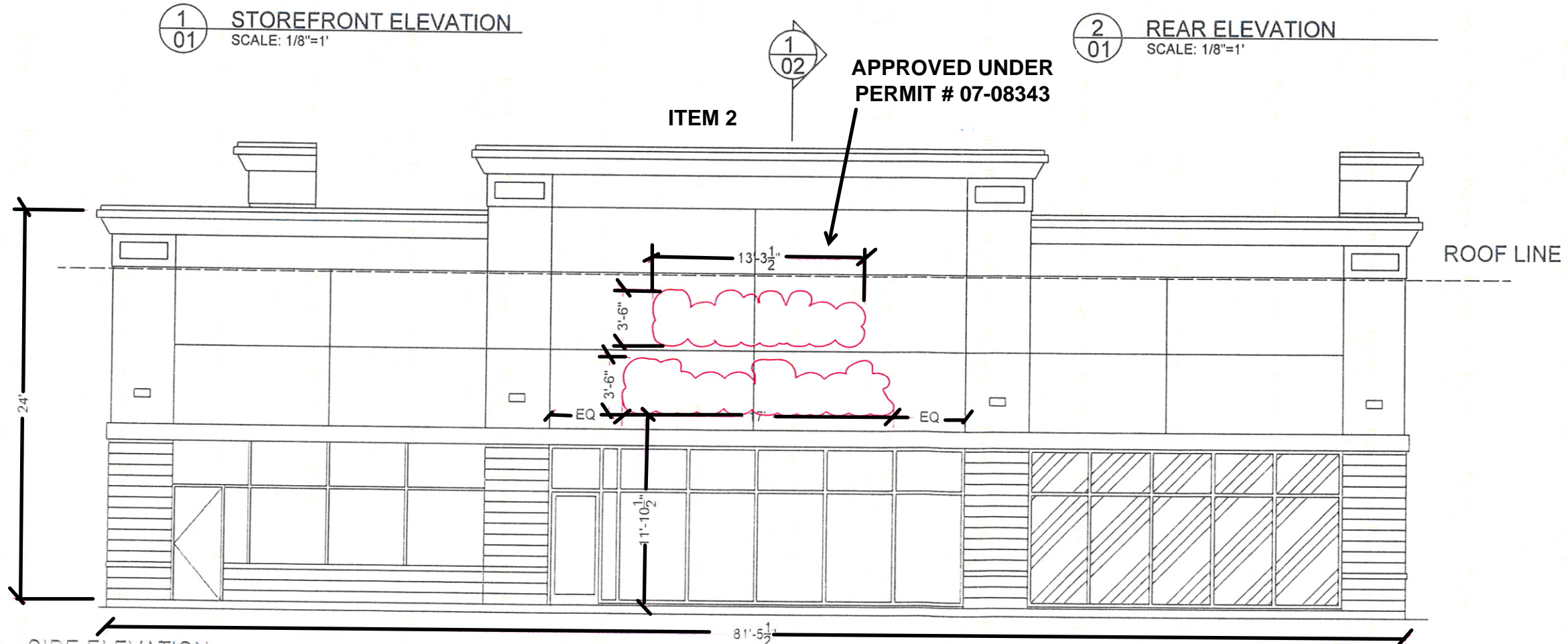
1 01 STOREFRONT ELEVATION
 SCALE: 1/8"=1'

APPROVED UNDER
 PERMIT # 07-08343



2 01 REAR ELEVATION
 SCALE: 1/8"=1'

LOCATION OF VARIANCE
 SIGN



3 01 SIDE ELEVATION
 SCALE 1/8"=1'

APPROVED UNDER
 PERMIT # 07-08343

ITEM 1 - ILLUMINATED FORM BOX - 3 SETS



ILLUMINATED FORM BOX
COLOUR OF FACE: SMF 7261 DARK RED TRANSLUCENT VINYL
ON WHITE POLYCARBONATE
COLOUR OF TRIM CAP: RED COLOR
COLOUR OF RETURN: PAINTED BENJAMIN MOORE 2000-10 RED
COLOUR OF LIGHT SOURCE: FLUORESCENT LAMP

ILLUMINATED FORM BOX
COLOUR OF FACE: SMF 7264 BRIGHT BLUE TRANSLUCENT VINYL
ON WHITE POLYCARBONATE
COLOUR OF TRIM CAP: RED COLOR
COLOUR OF RETURN: PAINTED BENJAMIN MOORE 2000-10 RED
COLOUR OF LIGHT SOURCE: FLUORESCENT LAMP

APPROVED UNDER
PERMIT # 07-08343

ITEM 2
ELEVATION - SIDE OF STORE



VISUAL EFFECT ONLY - NOT IN SCALE

ITEM 1
ELEVATION - STORE FRONT



ITEM 3
(LOCATION OF
VARIANCE SIGN)
ELEVATION - REAR



FORWARD SIGNS INC.

4144 Midland Avenue, Scarborough,
Ontario. M1V 4S7
Tel: (416) 291-4477
Fax: (416) 291-4678
E-mail: info@forwardsign.com

CLIENT
SOFTMOC
LOCATION
HEARTLAND TOWN CENTER
PROJECT
FORM BOX
DRAWN BY
JOE
FILE NAME
FORM BOX - G
DATE OF DRAWING
NOV 21, 2007
SCALE
SALESMAN
SIMON
REMARKS

CLIENT APPROVED / DATE

ART DEPT. APPROVED / DATE

ISO 9001-2000



REFER TO STRUCTURAL DRAWING BEFORE FABRICATION & INSTALLATION



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

April 8, 2008

FILE: 08-00119

RE: Nine Clouds
2273 Dundas Street West - Ward 8

The applicant requests the following variance to section 13 of the Sign By-law 0054-2002, as amended.

Section 13	Proposed
The total area of all fascia signs must not exceed 20% (23.8 sq. m (256 sq. ft.)) of the building façade on which the signs are located.	Three (3) fascia signs having a total area of 21.66% (25.8 sq. m (278 sq. ft.)) of the building façade on which the signs are located.

COMMENTS:

The variance is for a slight increase in the sign area permitted in the Sign By-law. The proposed fascia signs replace existing signs which received a sign variance approval several years ago. The signs are individual letters and are complimented by a neon band which runs along the entire length of the unit. The Planning and Building Department therefore finds the variance acceptable from a design perspective.



Dear Sirs:

We are here by requesting a very small allowance for a larger than code sign to be placed on our Dundas st. frontage. You have no issue with the size of the sign we are placing on Glen Erin (it has more frontage) and we wish for aesthetic reasons to have both signs the same size. The sign we are replacing is considerably larger than the new one.

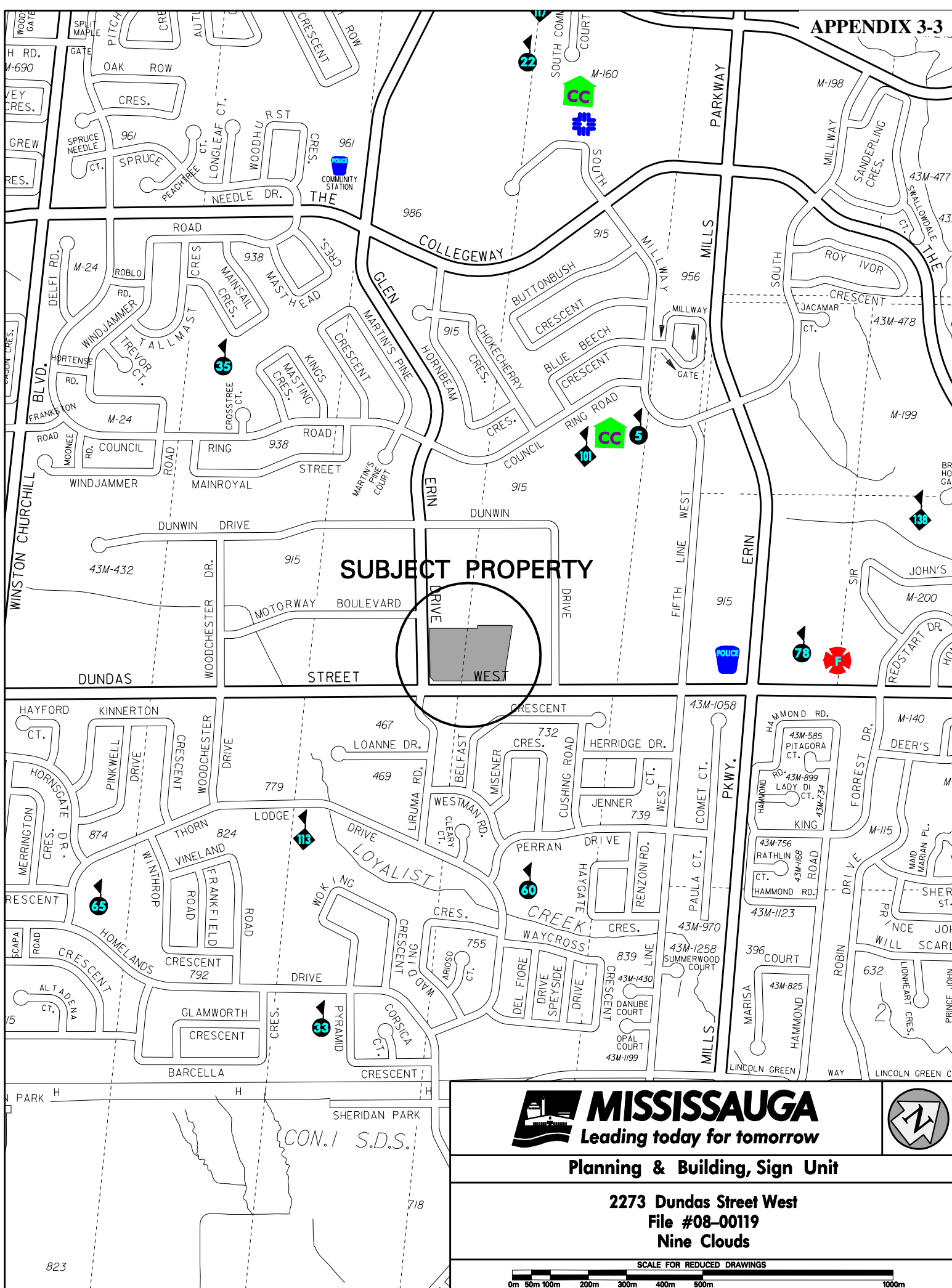
We earnestly await fair judgement.

Yours Respectfully,


Bill Laidlaw
President

* EXISTING PERMITTED SIGNS BEING REMOVED = 34m^2
REPLACEMENT SIGNAGE BEING PROPOSED = 18.72m^2 .

* TOTAL OF ALL SIGN ON TWO ELEVATIONS OF
CORNER BUILDING IS LESS THAN 20%
OF TOTAL BUILDING AREA.



MISSISSAUGA
Leading today for tomorrow



Planning & Building, Sign Unit

**2273 Dundas Street West
File #08-00119
Nine Clouds**

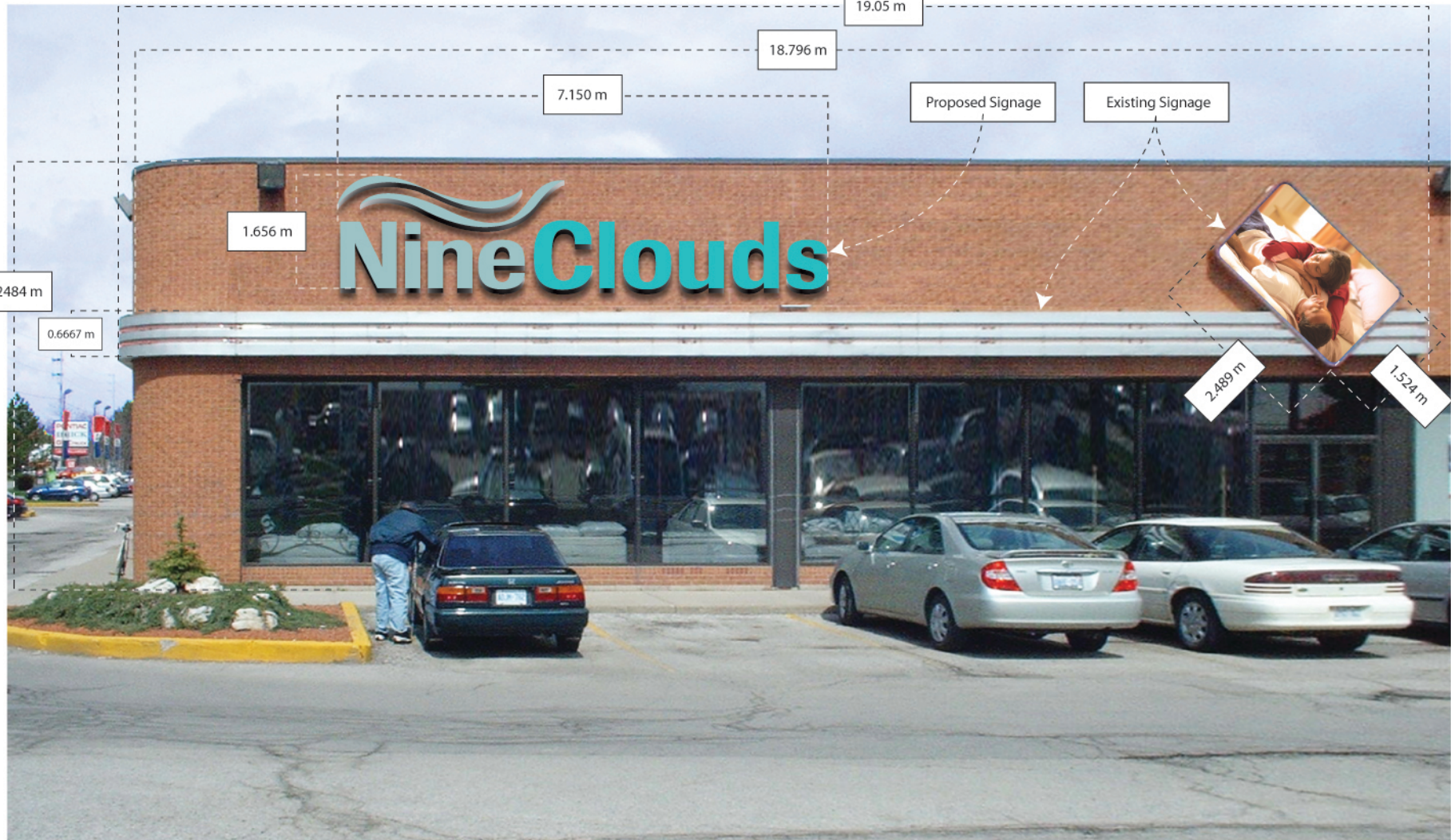
SCALE FOR REDUCED DRAWINGS

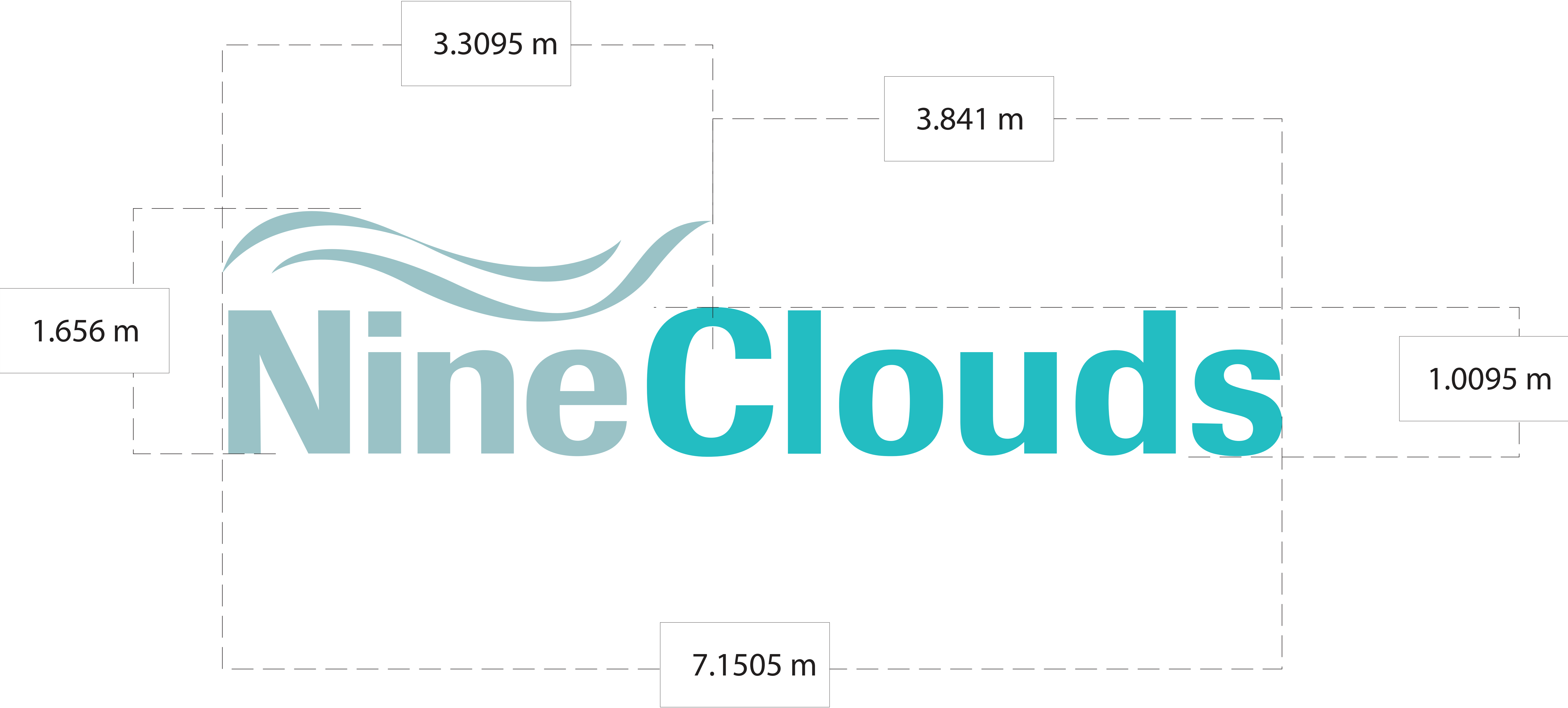


SITE MAP



Client: Mattress Liquidators
 File name: Mattress Liquidators071221 - Site Plan.ai/.jpg
 Date: December 21 2007





HaltonSigns
Outstanding Graphics

T: 905-569-0500 F: 905-569-9766
www.haltonsigns.com
dwilson@haltonsigns.com

Client:

Dimensions:

File name:

Date:

Mattress Liquidators

As Shown

Mattress Liquidators071012 - Nine Clouds dimensional - Additional info.ai/.pdf

February 4 2008