



Corporate Report

Clerk's Files

Originator's
Files

BL.03-SIG (2007)

DATE: February 27, 2007

TO: Chair and Members of Planning and Development Committee
Meeting Date: March 19, 2007

FROM: Edward R. Sajecki
Commissioner of Planning and Building

SUBJECT: **Sign By-law 0054-2002, as amended**
Sign Variance Applications

RECOMMENDATIONS: That the Report dated February 27, 2007, from the Commissioner of Planning and Building regarding Sign By-law 0054-2002, as amended, and the requested four (4) Sign Variance Applications described in Appendix 1 to 4 to the Report, be adopted in accordance with the following:

1. That the following Sign Variances **be granted**:

- (a) Sign Variance Application 07-03844
Ward 3
Westminster United Church
4094 Tomken Rd.

To permit the following:

- (i) A ground sign setback 0.42 m from a street line.

- (b) Sign Variance Application 06-03485
Ward 7
EllisDon
89 Queensway West

To permit the following:

- (i) One fascia sign on the south elevation with an area equal to 3.88% of the building elevation.
- (ii) One fascia sign on the east elevation with an area equal to 2.1% of the building elevation.

- (c) Sign Variance Application 06-00775
Ward 11
Rexall Pharma Plus
6085 Creditview Road

To permit the following:

- (i) One double faced fascia sign located on a roof structure.

2. That the following Sign Variance **not be granted**:

- (a) Sign Variance Application 07-03881
Ward 1
Mentor College
40 Forest Avenue

To permit the following:

- (i) Two electronic fascia signs located on the south and west elevations of the building.
- (ii) A total sign area of existing and proposed fascia signs equal to 7.45 sq. m

BACKGROUND: The *Municipal Act* states that Council may, upon the application of any person, authorize minor variances from the Sign By-law if in the opinion of Council the general intent and purpose of the By-law is maintained.

COMMENTS: The Planning and Building Department has received four (4) Sign Variance Applications (see Appendix 1 to 4) for approval by Council. Each application is accompanied by a summary page prepared by the Planning and Building Department which includes information pertaining to the site location; the applicant's proposal; the variance required; an assessment of the merits (or otherwise) of the application; and a recommendation on whether the variance should or should not be granted.

FINANCIAL IMPACT: Not applicable.

CONCLUSION: Council may authorize minor variances from Sign By-law 0054-2002, as amended, if in the opinion of Council, the general intent and purpose of the By-law is maintained. Sign By-law 0054-2002, as amended, was passed pursuant to the *Municipal Act*. In this respect, there is no process to appeal the decision of Council to the Ontario Municipal Board, as in a development application under the *Planning Act*.

ATTACHMENTS:

- Mentor College
Appendix (1-1 to 1-8)
- Westminster United Church
Appendix (2-1 to 2-7)
- EllisDon
Appendix (3-1 to 3-5)
- Rexall Pharma Plus
Appendix (4-1 to 4-5)

Edward R. Sajecki
Commissioner of Planning and Building

Prepared By: Darren Bryan, Supervisor Sign Unit



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

February 20, 2007

FILE: 07-03881

RE: Mentor College
40 Forest Avenue - Ward 1

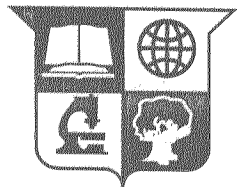
The applicant requests the following variances to sections 4 and 17 of the Sign By-law 0054-2002, as amended.

Section 4	Proposed
Any sign not expressly permitted is prohibited. There are no provisions for electronic fascia signs.	One (1) electronic fascia sign on the south elevation of the building. One (1) electronic fascia sign on the west elevation of the building.
Section 12	Proposed
Maximum sign area of 5 sq. m. (53.82 sq. ft.)	Total sign area of existing and proposed fascia signs is 7.45 sq. m. (80.20 sq. ft.)

COMMENTS:

The proposed variance is for two electronic fascia signs which have been installed without sign permits. Mentor College is located in an established residential area. The signs are located above the first storey of the building and are visible to the street. The Planning and Building Department do not feel it is within the intent of the Sign By-law and therefore can not support the variance. If approved, it would set precedent for other schools and businesses in residential neighbourhoods, to erect electronic signs on their buildings.

In addition, the Planning and Building Department has received a complaint from an adjacent resident regarding the illumination of these signs.



Mentor College

40 Forest Avenue, Mississauga, Ontario L5G 1L1
Telephone: (905) 271-3393 • Fax: (905) 271-8367
e-mail: admin@mentorcollege.edu

Director
K. Philbrook

December 8, 2006

To Whom It May Concern:

Re: Electronic Sign Variance Request

Mentor College – Main Campus – is requesting a minor variance in respect to two electronic signs that are presently affixed to the west and the south sides of the building.

It was the school's decision to place the signs on the side of the building to reduce the chance of vandalism towards the signs. As well, we wanted them in place to allow for our bus students and our parents who drive their children to view the signs at the drop and drive through portion of the parking lot.

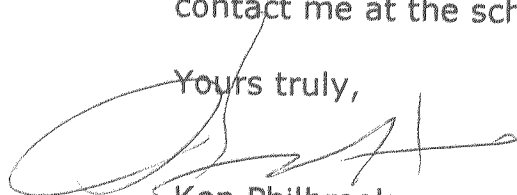
The purpose/usage of the signs is as follows:

1. The signs turn on/off automatically between the hours of 7:00am and 6:00pm, Monday through Friday. These are the hours of the school day. We have many extra-curricular activities/sports that begin and end before and after the academic day,
2. There is not any flashing feature in the software programme. Therefore none of the lights will be flashing at any time,
3. The primary purpose of the signs is to inform the students and parents of the upcoming events at the school. Events such as sports games/tournaments, theatrical arts performances, parent interview days, holiday schedules, field trips, welcoming special visitors such as Stephen Lewis, Roberta Bondar and Romeo Dallaire, parent association meetings and recognizing our students in their academic and extra-curricular pursuits,

4. Our parents come from a wide geographic area and we have found that they in fact do rely on the information that these signs provide in assisting them to keep up to date with the many and varied events at the school,
5. The signs are not used to advertise Mentor College in any way. They are used solely for the purpose of providing information to our school community.

If I may be of further assistance in this matter of the waiver please contact me at the school at your convenience.

Yours truly,

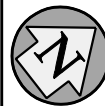
A handwritten signature in black ink, appearing to read 'Ken Philbrook', with a large, stylized initial 'K' and a long horizontal stroke extending to the right.

Ken Philbrook
Director

SUBJECT PROPERTY

FORMERLY HWY. No. 2

THE CUMBERLAND CREEK 12 RICHEY CRES.



Planning & Building, Sign Unit

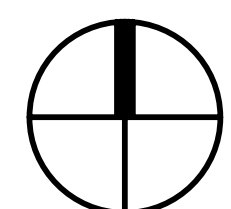
40 Forest Ave.
File # 07-03881
Mentor College

SCALE FOR REDUCED DRAWINGS





DRAWINGS MUST NOT BE SCALED.
CONTRACTOR MUST CHECK AND VERIFY
ALL DIMENSIONS, SPECIFICATIONS AND
DRAWINGS ON SITE AND REPORT ANY
DISCREPANCIES TO THE ARCHITECT PRIOR
TO PROCEEDING WITH ANY OF THE WORK.



- PROPERTY LINE
- NEW CONCRETE SIDEWALK
- EXISTING HEAVY DUTY ASPHALT
- EXISTING SIDEWALK
- NEW HARD SURFACE LANDSCAPING
- CONCRETE CURB
- SURVEY MONUMENT
- HYDRO POLE
- NEW SODDED AREA
- EXISTING FIRE HYDRANT
- SIAMSESE CONNECTION
- STREET LIGHT
- PARKING LIGHT STANDARD
- CATCH BASIN
- MAN HOLE
- SAND PLAY AREA
- EXISTING GRADE
- FINISHED GRADE
- FINISHED FLOOR ELEVATION
- GRADE SLOPE
- CONCRETE RAMP
- MAIN ENTRANCE
- SECONDARY ENTRANCES
- EXISTING CONIFEROUS TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO REMAIN
- NEW DECIDUOUS TREES ADDED
- NEW CONIFEROUS
- GRADE SLOPE

The undersigned has reviewed and takes responsibility for this
design, and has the specifications and meets the requirements
set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code.

NAME SIGNATURE BOM/BCO

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the building code.

FRM NAME BOM/BCO

OWNER:
MENTOR COLLEGE
40 FOREST AVENUE
MISSISSAUGA
L4W 1E9
905-271-3394

PREVIOUS SITE PLAN - SPR 00-520 W1
40 FOREST AVENUE

PREVIOUS SITE PLAN - SPR 99/080 W1
40 FOREST AVENUE

C OF A FILE # "A" 263/99, WARD 1
40 FOREST AVE
OFFSITE PARKING ON AN
EXIST. GRAVEL PARKING LOT

PREVIOUS SITE PLAN - 26-92 W
40 FOREST AVENUE

REF. DATE DESCRIPTION CHD

REVISIONS

STARK IRELAND ARCHITECTS INC
2560 MATHESON BLVD. EAST
SUITE 317
MISSISSAUGA, ONTARIO
L4W 4Y9
(905) - 629-2500
(905) - 629-2920

MENTOR COLLEGE
SIGNAGE
40 FOREST AVENUE
MISSISSAUGA, ONTARIO

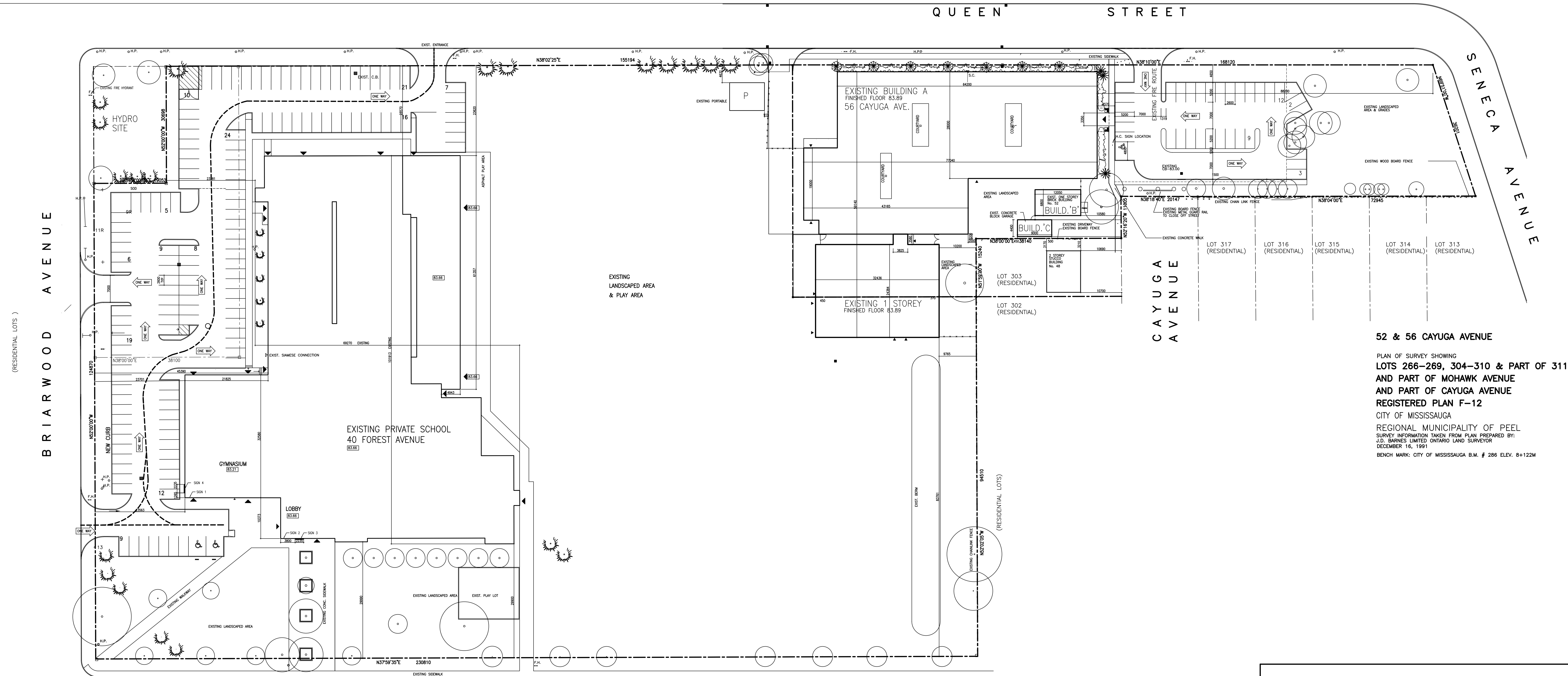
SITE PLAN & DETAILS
S.P.R. 02-481-W1

DRAWN: P.S.S. CHECKED:

DATE: 10/20/06

SCALE: 1:400 JOB NO.: 06-1498

ISSUED: SHEET NO.: A-1



40 FOREST AVENUE

PLAN OF SURVEY SHOWING

PART LOTS 184, 185 & LOTS 186-193, 215-234,
256-265, 270-275 ALL INCLUSIVE, BRANT AVENUE
& PART OF REGISTERED PLAN F-12
MOHAWK AVE. BETWEEN QUEEN ST. & FOREST AVE.

CITY OF MISSISSAUGA

REGIONAL MUNICIPALITY OF PEEL

SURVEY INFORMATION TAKEN FROM PLAN PREPARED BY:
STARR & TARASICK ONTARIO LAND SURVEYOR
APRIL 29, 1983

(RESIDENTIAL LOTS)

1 SITE PLAN
A1 1:400

2 XXX
A1 N.T.S.

3 XXX
A1 N.T.S.

4 XXX
A1 N.T.S.

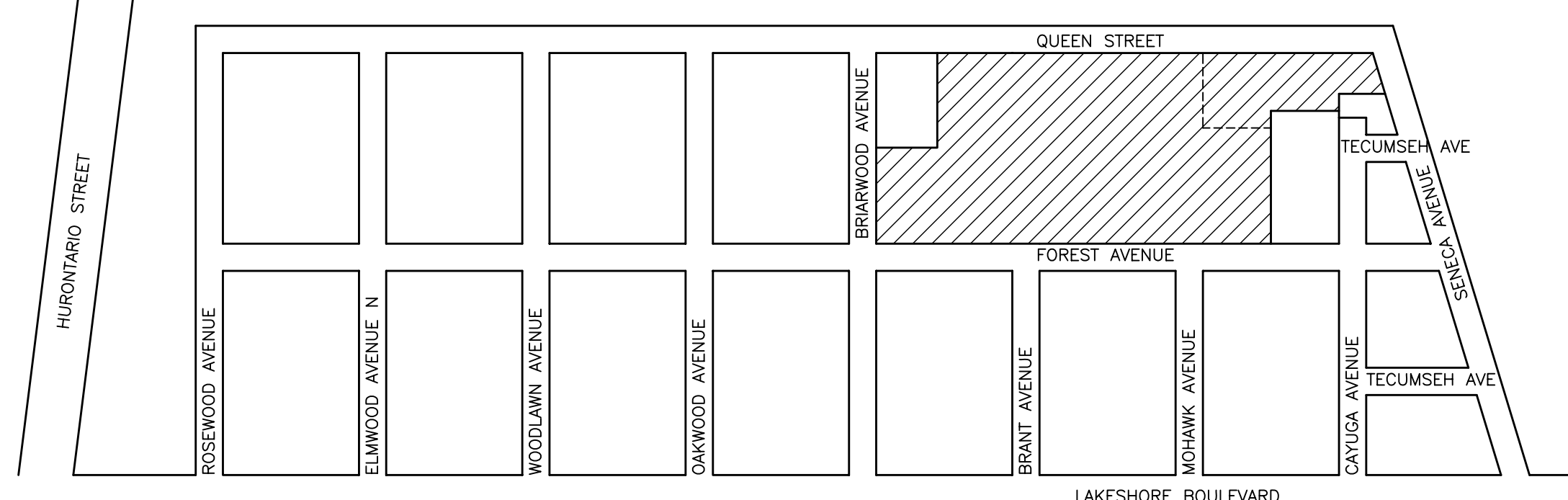
5 KEY PLAN
A1 N.T.S.

8 SITE STATISTICS
A1

SITE AND ZONING INFORMATION						
ZONING		EXISTING ZONING				
		INSTITUTIONAL				
SITE AREA			ACRES	Ha	SQ. FT.	M ²
	56 CAYUGA AVENUE		1.90	0.769	82,725	7685.202
	40 FOREST AVENUE		8.026	3.248	349,647.03	32,482.21
	TOTAL		9.926	4.017	432,372.03	40,167.41
COVERAGE			SQ. FT.	M ²		% SITE
	BUILDING		35,169	3,267,262		8.13
	EXISTING BUILDING "A"					
	56 CAYUGA AVENUE EXIST. BUILDING "B"		882	81,940		0.20
	EXISTING BUILDING "C"		426	39,573		0.09
	40 FOREST AVENUE EXIST. BUILDING "D"		57,512.27	5,343.07		13.30
	EXISTING BUILDING "E"		6,843.47	635.78		1.58
	ADDITION					
	TOTAL BUILDINGS		100,832.74	9,367,625		23.30
PARKING *			ACRES	SQ. FT.	M ²	
	56 CAYUGA AVENUE		15,193.46	1,411.52	3.51	
	40 FOREST AVENUE		103,767.66	9,640.34	24.00	
	TOTAL PAVING		118,961.12	11,051.86	27.51	
	LANDSCAPING		29,896	2,777.368	6.91	
	56 CAYUGA AVENUE		179,221.00	16,650.192	41.45	
	40 FOREST AVENUE		209,117.00	19,427.56	48.36	
	TOTAL LANDSCAPING					
PARKING *			REQUIRED	PROVIDED	REQ'D. & PROVIDED	PROVIDED
	STALLS		142	146	33	179
	MIN. 200		2	2	1	3
	MIN. 4,000		142	146	33	179
BUILDING GROSS FLOOR AREAS			SQ. FT.	M ²		
	56 CAYUGA AVENUE EXIST. BUILDING "A"		35,169	3,267,262		
	56 CAYUGA AVENUE EXIST. BUILDING "B"		882	81,940		
	EXISTING BUILDING "C"		426	39.6		
	EXIST. 40 FOREST AVE.		89,939.06	8,355.57		
	ADDITION 40 FOREST AVE.		8,843.47 + 5,431.57=12,275.04	635.78 + 504.61 = 1,140.39		
	TOTAL 40 FOREST AVE.		102,214.10	9,495.96		
	BUILDING CODE INFORMATION 40 FOREST AVENUE					
			SQ. FT. <th colspan="2">M²</th> <th></th>	M ²		
BUILDING AREA LARGEST FLOOR	EXISTING <td>57,512.27</td> <td colspan="2">5,343.07</td> <td></td>		57,512.27	5,343.07		
	NEW		6,843.47	635.78		
	TOTAL		64,355.74	5,978.85		
BUILDING HEIGHT	STORIES		OVER 18M HIGH	OVER 36M HIGH	O.B.C. 3.2.6.	
	2		N/A	N/A	N/A	
	SQ. FT.		M ²	< 10 %	> 10 % < 40 %	
MEZZANINE AREA	NO MAXIMUM		NO MAXIMUM		NO MAXIMUM	
	REQUIRED		REQUIRED		PROVIDED	
SPRINKLER BUILDING	NON-COMBUSTIBLE		NON-COMBUSTIBLE		NON-COMBUSTIBLE	
	REQUIRED		REQUIRED		PROVIDED	
STREETS	FACING - 2 STREETS		N/A		YES	
	SQ. FT.		M ²			
PERMITTED AREA	NO MAXIMUM		NO MAXIMUM		NO MAXIMUM	
	REQUIRED		REQUIRED		PROVIDED	
BUILDING CONSTRUCT.	NON-COMBUSTIBLE		NON-COMBUSTIBLE		NON-COMBUSTIBLE	
	REQUIRED		REQUIRED		PROVIDED	
REQUIRED FIRE RATINGS	FLOOR BELOW GR.		FLOORS		ROOF	
	SUPP. STRUCT		N/A	60 MIN.	NO RATING FOR NON-COMBUSTIBLE	
FIRE ALARM STANDPIPE	REQUIRED = YES		PROVIDED = YES		YES	
	REQUIRED = YES		PROVIDED = YES		YES	

8

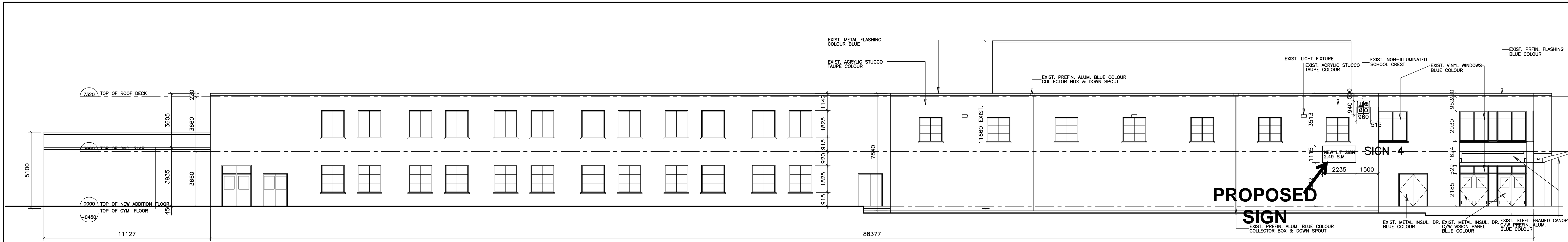
SITE STATISTICS



APPENDIX 1-5



4 EXISTING SOUTH ELEVATION UNCHANGED WALL AREA: 687.72 S.M. TOTAL SIGN AREA: 5.78 S.M. = 0.84 % OF WALL AREA
A4 SCALE: 1:100

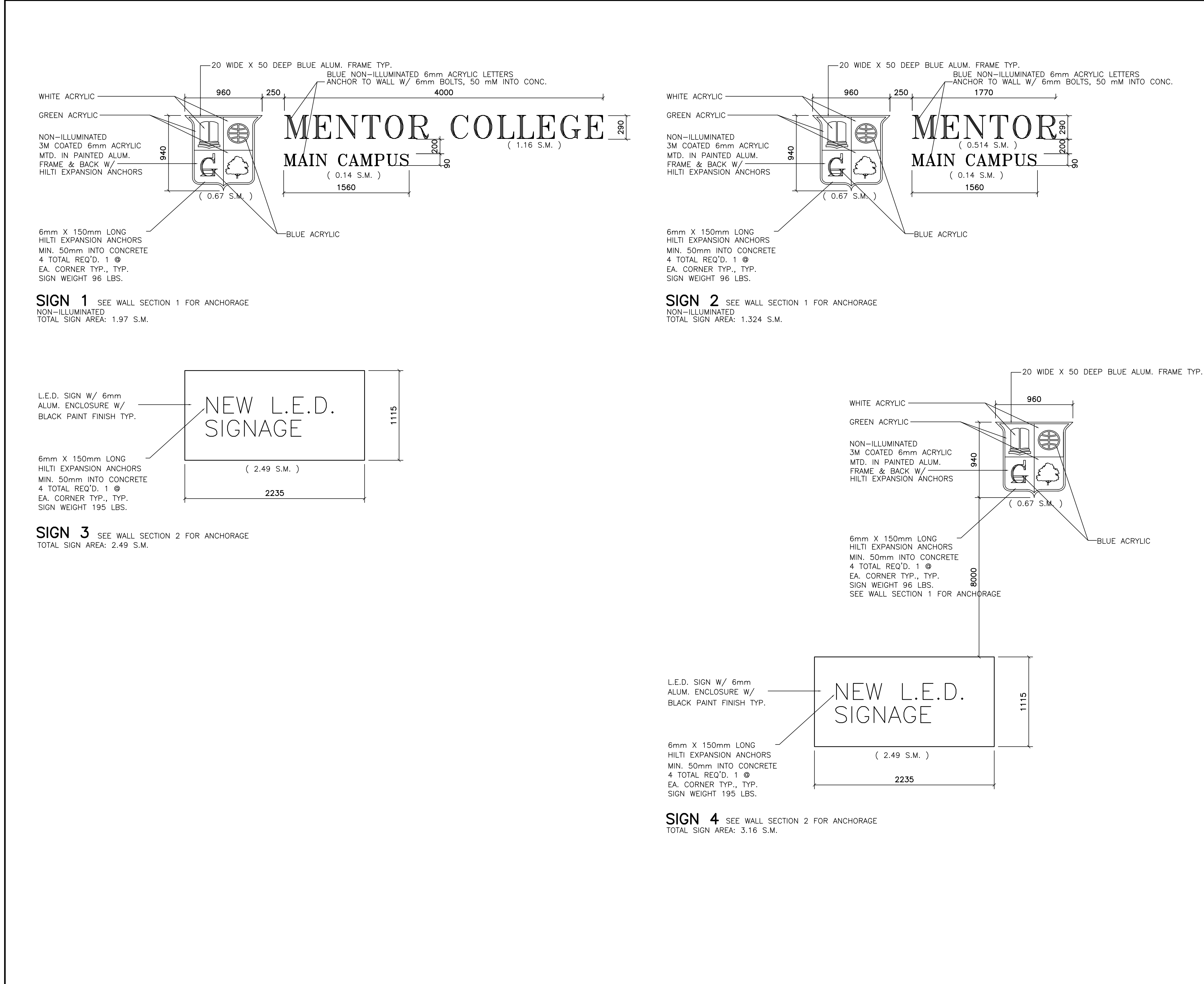


5
A4

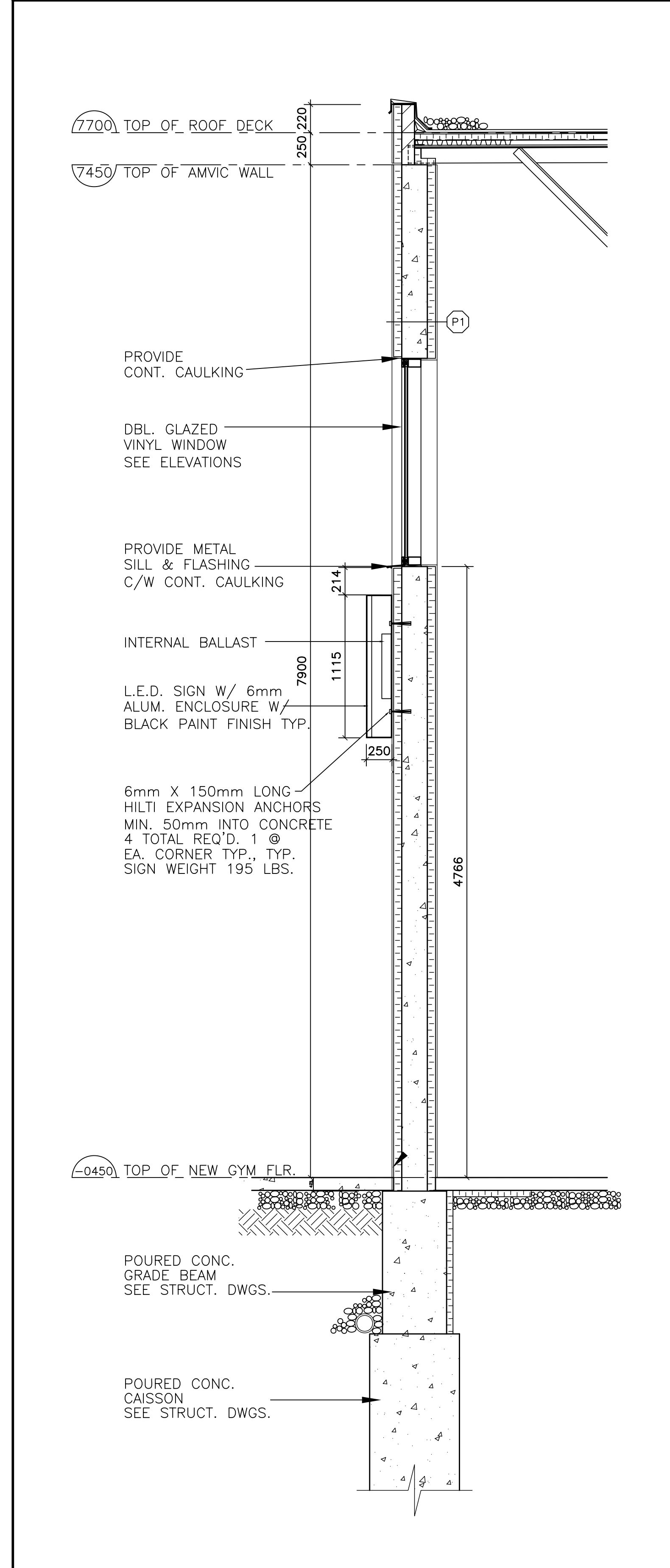
EXISTING WEST ELEVATION UNCHANGED

WALL AREA: 748.71 S.M. TOTAL SIGN AREA: 3.16 S.M. = 0.422 % OF WALL AREA

SCALE 1:100



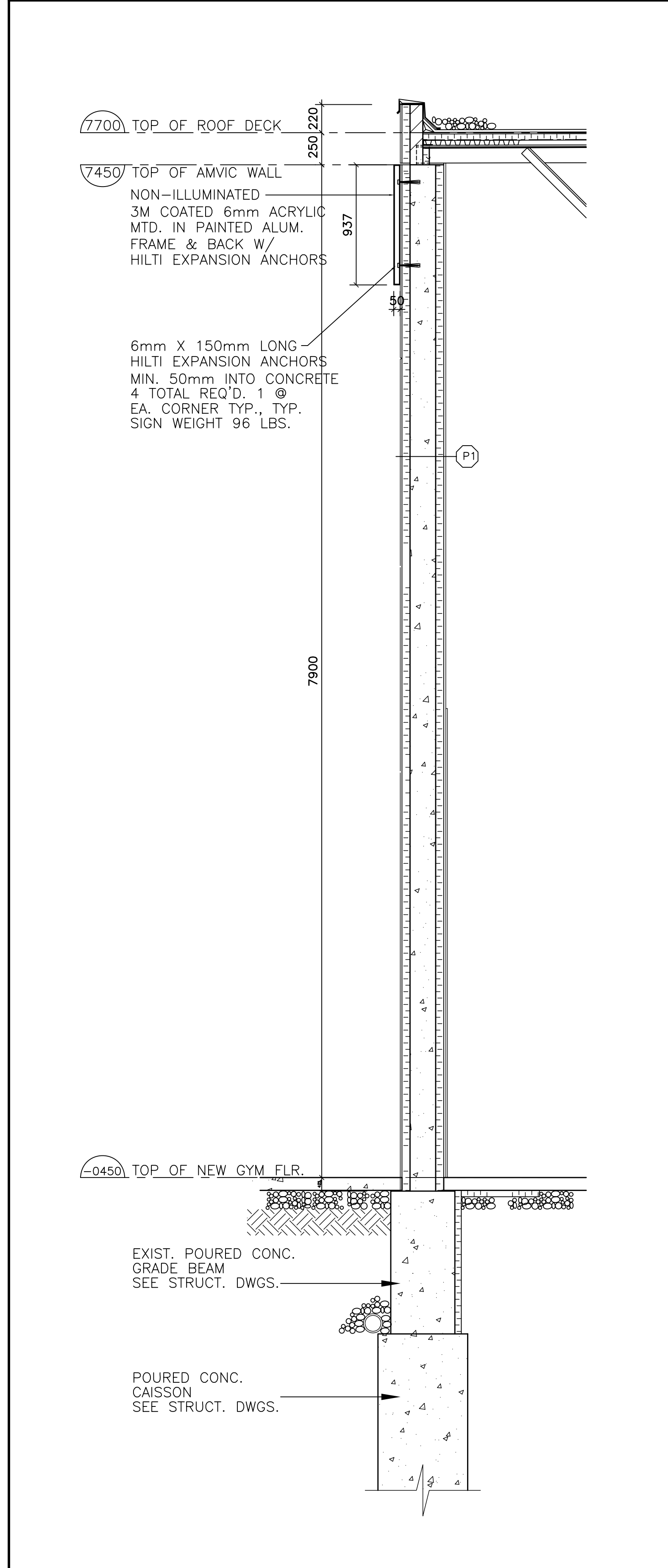
5
A4



4
A2

WALL SECTION 2

SCALE 1:25



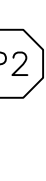
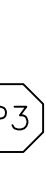

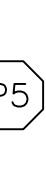

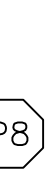
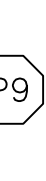




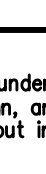




3
A2

WALL SECTION 1
SCALE 1:25



DRAWINGS MUST NOT BE SCALED.
CONTRACTOR MUST CHECK AND VERIFY
ALL DIMENSIONS, SPECIFICATIONS AND
DRAWINGS ON SITE AND REPORT ANY
DISCREPANCIES TO THE ARCHITECT PRIOR
TO PROCEEDING WITH ANY OF THE WORK.

PARTITION SCHEDULE

- | | |
|---|---|
|  | EXTERIOR WALL |
|  | ACRYLIC STUCCO FIN. ON
1/2" INSULATION
200 MONOLITHIC CONC. BLK.
1/2" INSULATION VALUE
16 DRILL ON
1/2" C/W OF STRUCTURE
ADD 13 M.D. BOARD IN
NEW CONCREM ON TOP TO
3658 A.F.F. |
|  | SHR. FLE. RATED PARTITION |
|  | 1/2" LAYER OF 13 CPISPM BOARD
1/2" STEEL STUDS @ 610 O.C.
TO RIGHT / U/S OF STRUCTURE
ABOVE C/W FLUTES FILLED
CALCULATED C/W SOUND
ATTENUATION INSULATION |
|  | SHR. FLE. RATED PARTITION |
|  | 1/2" LAYER OF 16 CPISPM BOARD
ON 8/5" OF
92 STEEL STUDS @ 610 O.C.
TO RIGHT / U/S OF STRUCTURE
ABOVE C/W FLUTES FILLED
CALCULATED C/W SOUND
ATTENUATION INSULATION |
|  | 1/2" LAYER OF 16 CPISPM BOARD
ON 8/5" OF
92 STEEL STUDS @ 610 O.C.
TO L/W / W/ST C/W SOUND
ATTENUATION INSULATION |
|  | 250 CONCRETE BLOCK WALL
SEE STRUCTURAL DRAWINGS
(PAINTED) |
|  | 200 CONCRETE BLOCK WALL
SEE STRUCTURAL DRAWINGS
(PAINTED) |
|  | 100 CONCRETE BLOCK WALL
SEE STRUCTURAL DRAWINGS
(PAINTED) |
|  | 400 FILLING SPACE |
|  | 16 DRILL ON
ON EXISTING NEW METAL
LAMINATED OR ON METAL
TUBING TO BE MADE FLUSH
W/ ADJACENT FIN. SURFACE |
|  | EXISTING NEW METAL
LAMINATED OR ON METAL
TUBING TO BE MADE FLUSH
W/ ADJACENT FIN. SURFACE |
|  | EXISTING WALL |
|  | 100 CONCRETE BLOCK WALL
(PAINTED) |
|  | 1/2" LAYER OF 16 CPISPM BOARD
ON METAL TUBING
AS REQUIRED FLUSH W/
ADJACENT FIN. SURFACE
C/W SOUND ATTENUATION
INSULATION |

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirement set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 2.17.5.1. of the building code

NAME	SIGNATURE	BCIN/BC
------	-----------	---------

FIRM NAME	BCIN/BC
-----------	---------

1	0/20/06	SIGN PERMIT	
REF.	DATE	DESCRIPTION	CH'G

REVISIONS

STARK IRELAND ARCHITECTS INC

2560 MATHESON BLVD. EAST
SUITE 317
MISSISSAUGA, ONTARIO
L4W 4Y9

{ 905 } - 629-2500
{ 905 } - 629-2920

**MENTOR COLLEGE
SIGNAGE**
40 FOREST AVENUE
MISSISSAUGA, ONTARIO

BUILDING ELEVATIONS & DETAILS

DRAWN: P.S.S.	CHECKED:
---------------	----------

DATE: 10/20/06

SCALE:	JOB NO.:
--------	----------

SCALE: 1:100	SSD No.: 06-1498
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A-2



WEST ELEVATION

SIGN

01/24/2007



SOUTH ELEVATION

01/24/2007



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

February 27, 2007

FILE: 07-03844

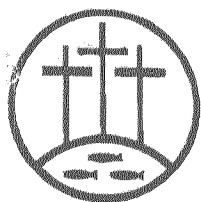
RE: Westminster United Church
4094 Tomken Road - Ward 3

The applicant requests the following variance to section 12(1) of the Sign By-law 0054-2002, as amended.

Section 12(1)	Proposed
A ground sign setback a minimum of 1 m (3.28 ft.) from a street line.	A ground sign setback 0.42 m (1.38 ft.) from a street line.

COMMENTS:

The ground sign was granted a sign permit on August 2, 2006, however was located improperly during construction. The variance is minor in nature and within the intent of the Sign By-law and therefore acceptable.



Westminster United Church

4094 Tomken Road, Mississauga, Ontario L4W 1J5
Phone (905) 273-9505 Fax (905) 273-5278
westminsteruc@sympatico.ca

January 3, 2007

The purpose of this presentation is to provide a rationale for the Westminster New Sign to remain in its present position.

Background Information

Westminster United Church was built in 1991 with an emphasis on serving the community. For years it has been home for many groups' meetings at a minimal cost or no cost at all.

For years, Westminster UC has paid for portable sign permits to reach out to the community and advertise events and special functions.

The former permanent sign was in disrepair and was positioned too close to the sidewalk and slightly on City property.

In order to remedy this situation, improve our signage and the visibility of the property, the church held fundraisers and requested donations to erect a new sign that would identify the building and provide clear messages to the community.

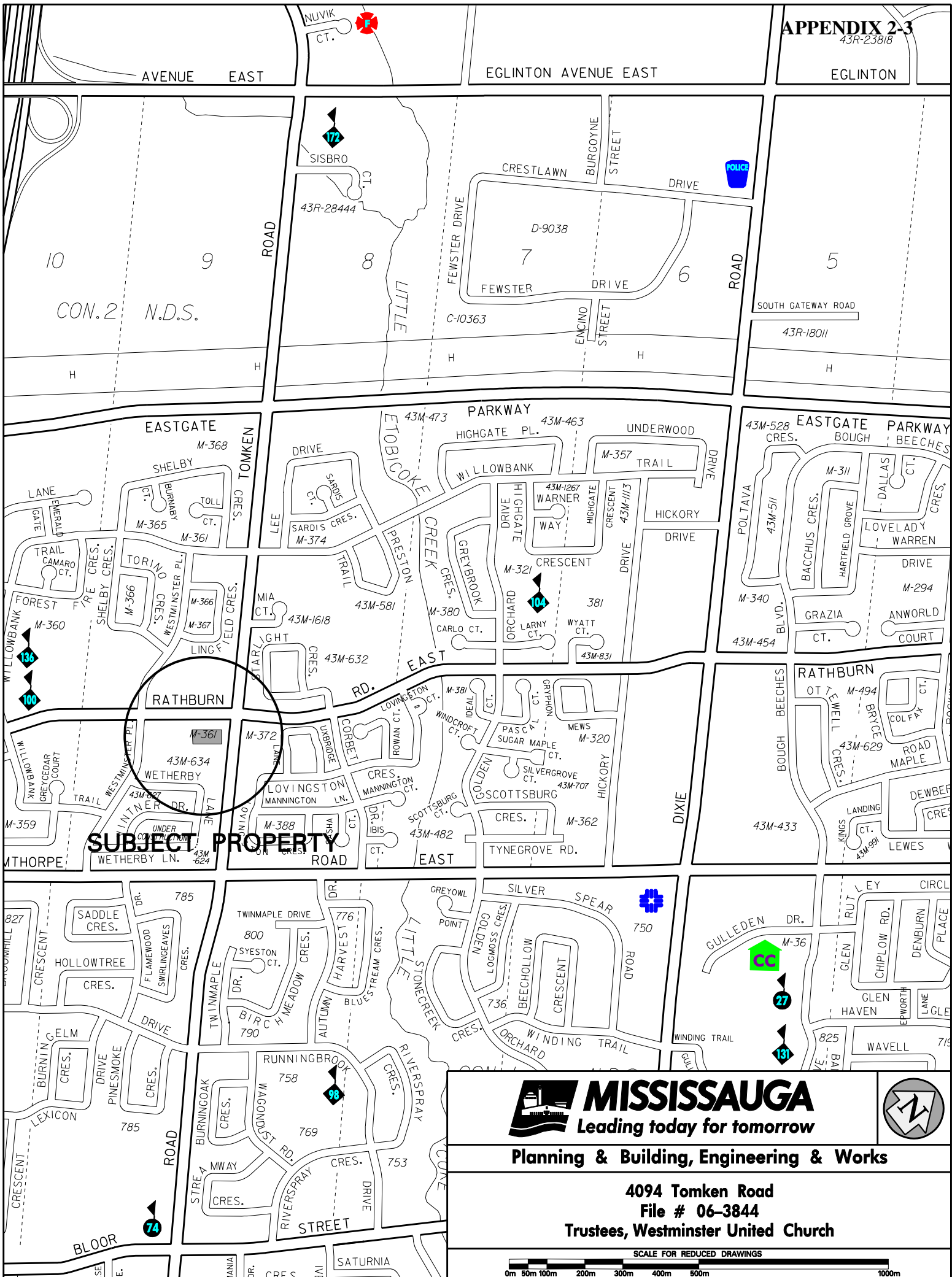
A permit was obtained for the new sign on August 2, 2006 with construction beginning three weeks later.

Present Situation

During the construction, the sign was placed 42 cm from the streetline where a minimum of 1 metre is required inside the property line.

As a result a Variance to the By-Law setback is requested.

Dorothea Phair, *D Phair*
Chair, Operations and Maintenance Committee



MISSISSAUGA
Leading today for tomorrow

Planning & Building, Engineering & Works

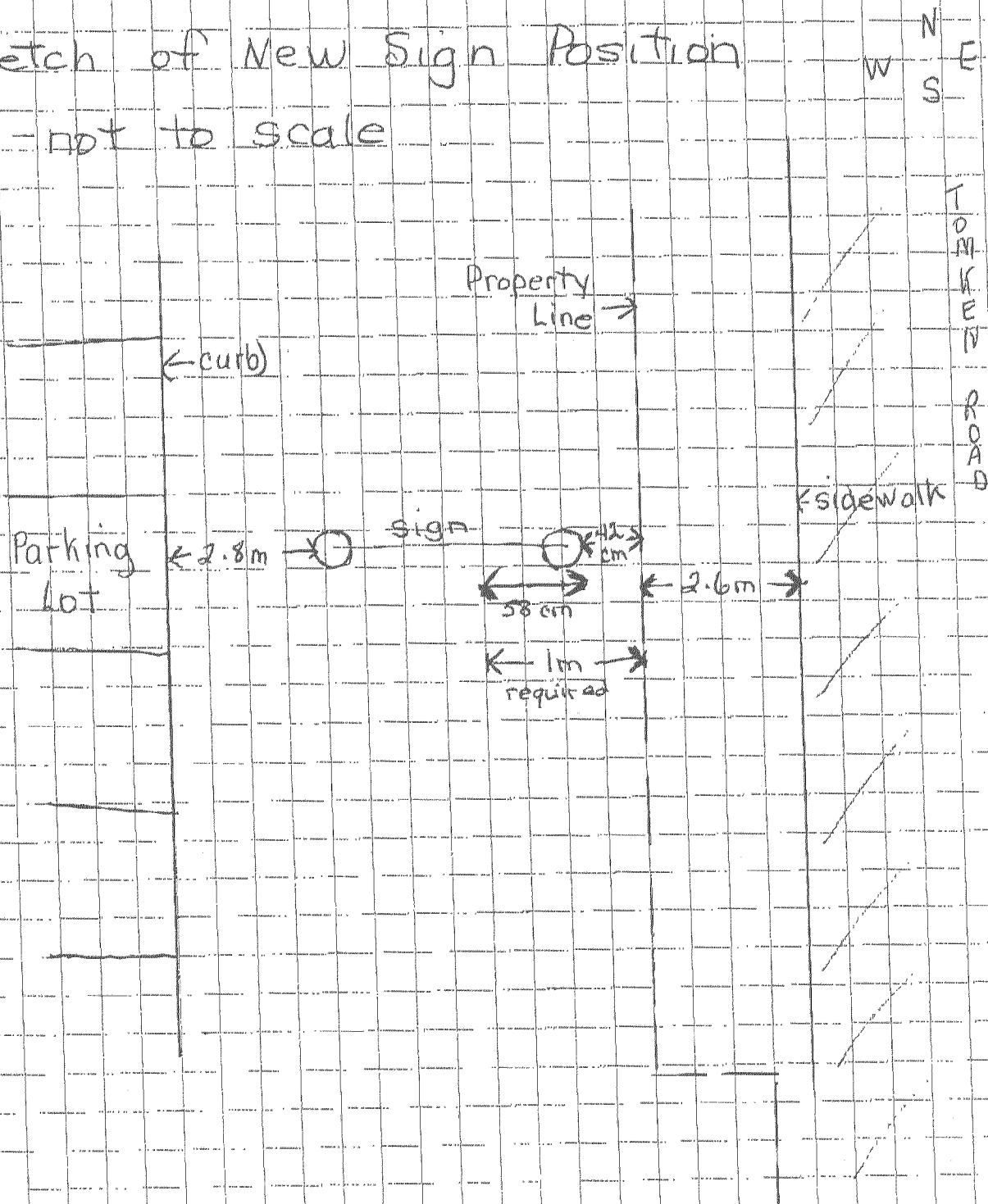
4094 Tomken Road
File # 06-3844
Trustees, Westminster United Church



Westminster United Church
4094 Tomken Road
MISSISSAUGA ON

Sketch of New Sign Position

- not to scale



Westminster



United Church

905-273-9505 www.WestminsterUnitedChurch.ca



SUN 10AM FAMILY SERVICE
10PM CANDLELIGHT
JAZZ COMMUNION

PROPERTY LINE

42CM

12/20/2006


96"

72"

6"

18"

Westminster



United Church

PLANNING & DESIGN
AUG 11 2 2005

DRAWING REVIEWED FOR CONFORMANCE
WITH THE ROOM BY LAW
SUBJECT TO ANY REVISIONS NOTED BY THE
MARKED THE REVIEW

SIGN PERMIT NO. 15-1747

Ed. Antone



INFORMATION 905-273-9505

6'x8'
double sided sign box
Qty: 1

For Compliance With The OBC
Refer To Approved Building Permit



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

February 27, 2007

FILE: 06-03485

RE: **EllisDon**
89 Queensway West – Ward 7

The applicant requests the following variance to section 13 of the Sign By-law 0054-2002, as amended.

Section 13	Proposed
For an office building, permits two (2) fascia signs located between the limits of the top floor and the parapet with total area not greater than 2% of the building face on which the sign is located	One (1) fascia sign on south elevation with an area equal to 3.88% of the building face. One (1) fascia sign on east elevation with an area of 2.1% of the building face.

COMMENTS:

The proposed variance is for a slight increase in sign area for each sign. The signs are in scale with the building and proportional to the area where they are placed. The Planning and Building Department therefore finds the variance acceptable from a design perspective.

NORTHWEST

284 King Street East, Suite 100 T: (416) 366-2000
Toronto, Ontario M5A 1K4 F: (416) 366-8331

December 20, 2006

City of Mississauga
300 City Centre Drive
Mississauga, ON
L5B 3C1

To whom it may concern:

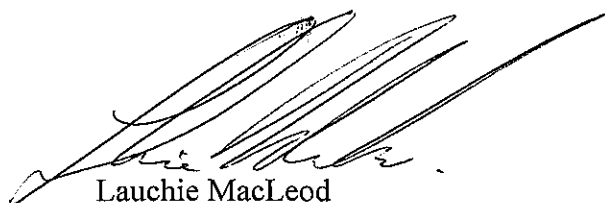
We are the property managers and manage on behalf of HealthCare Properties, owner of 89 and 101 Queensway West. Ellis Don is a significant tenant at our property at 89 Queensway Avenue West and has made a ten (10) year commitment to this property. We have reviewed the proposed exterior signage on our property at 89 Queensway West. We approved the signage subject to municipal approvals being obtained. They have informed us that a variance is required and we are writing to you to inform you that we concur with their variance request and will support the application. We believe the application has merit and have detailed our reasons as follows:

1. The Ellis Don logo provides the property with a "signature identity" instead of a street address.
2. The importance of corporate identity to Queensway and Trillium Hospital. (which they support corporately)
3. The signage has been engineered in concert with our building design to create an esthetic appearance.
4. The signs are in keeping with Ellis Don's image and presence in the City of Mississauga.
5. The economies of scale to produce two signs of a similar size.
6. The intent is brand recognition only and not a commercial advertising application.

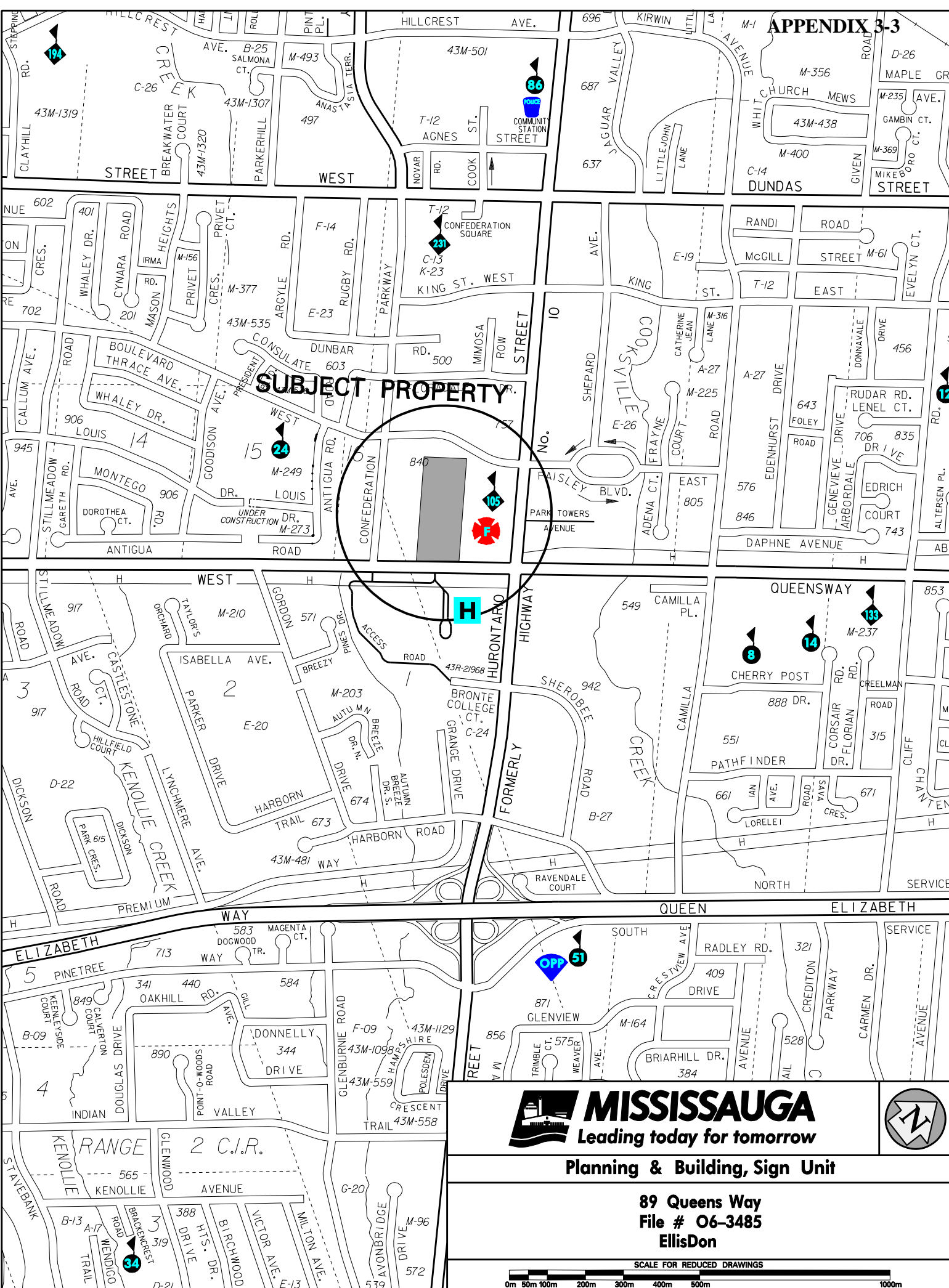
Based upon the forgoing we support their application for a variance to the signage by-law.

I would welcome any enquiry on this matter.

Yours truly,



Lauchie MacLeod
Senior Vice President & Regional General Manager
Atlantic & Ontario



MISSISSAUGA
Leading today for tomorrow

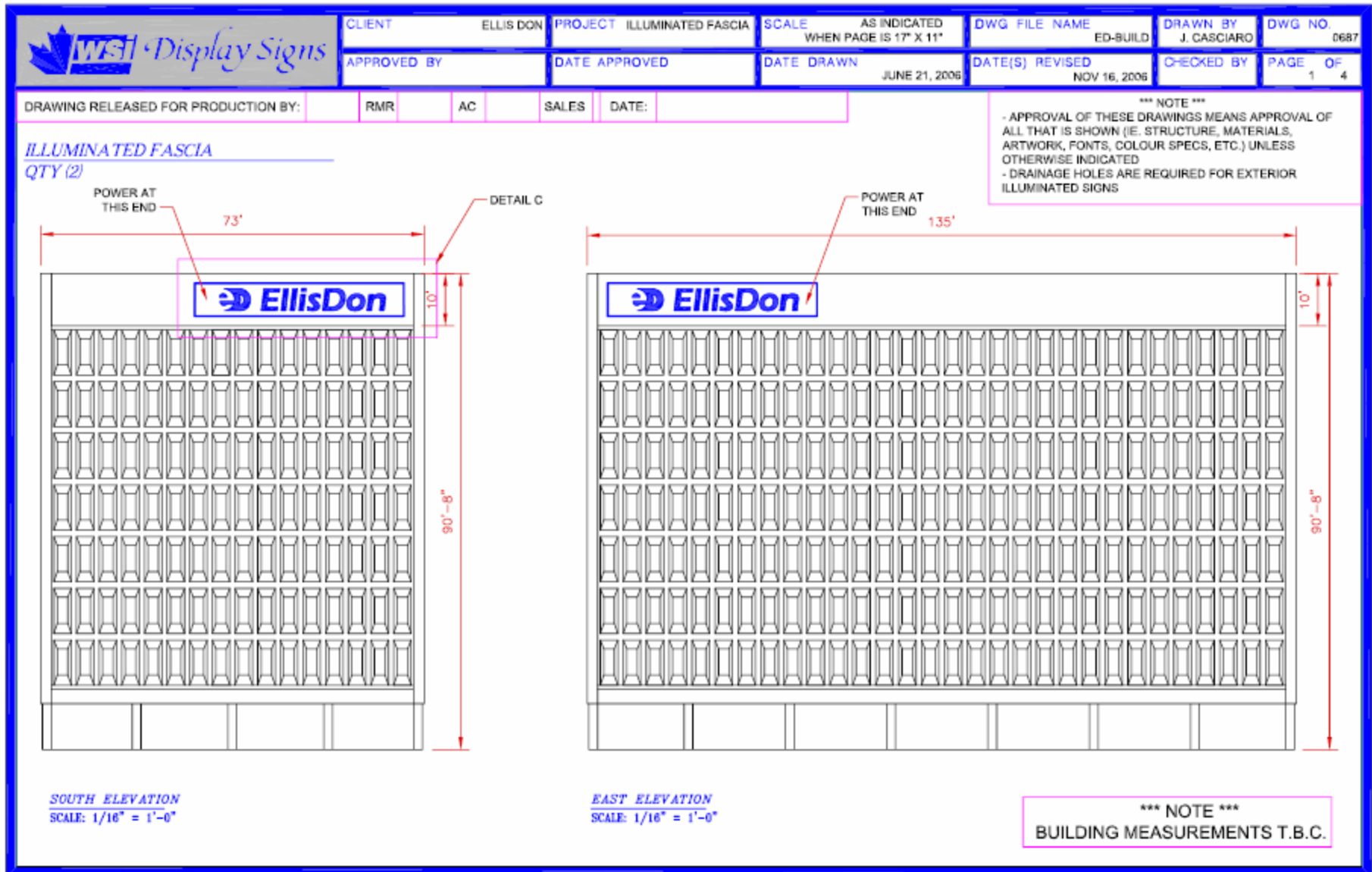


Planning & Building, Sign Unit

**89 Queens Way
File # 06-3485
EllisDon**

SCALE FOR REDUCED DRAWINGS





APPENDIX 3-5



CLIENT	ELLIS DON	PROJECT	ILLUMINATED FASCIA	SCALE	AS INDICATED WHEN PAGE IS 17" X 11"	DWG FILE NAME	ED-BUILD	DRAWN BY	J.CASCIARO	DWG NO.	0687
APPROVED BY		DATE APPROVED		DATE DRAWN	JUNE 21, 2006	DATE(S) REVISED	N/A	CHECKED BY		PAGE	2 OF 4

DRAWING RELEASED FOR PRODUCTION BY:

RMR

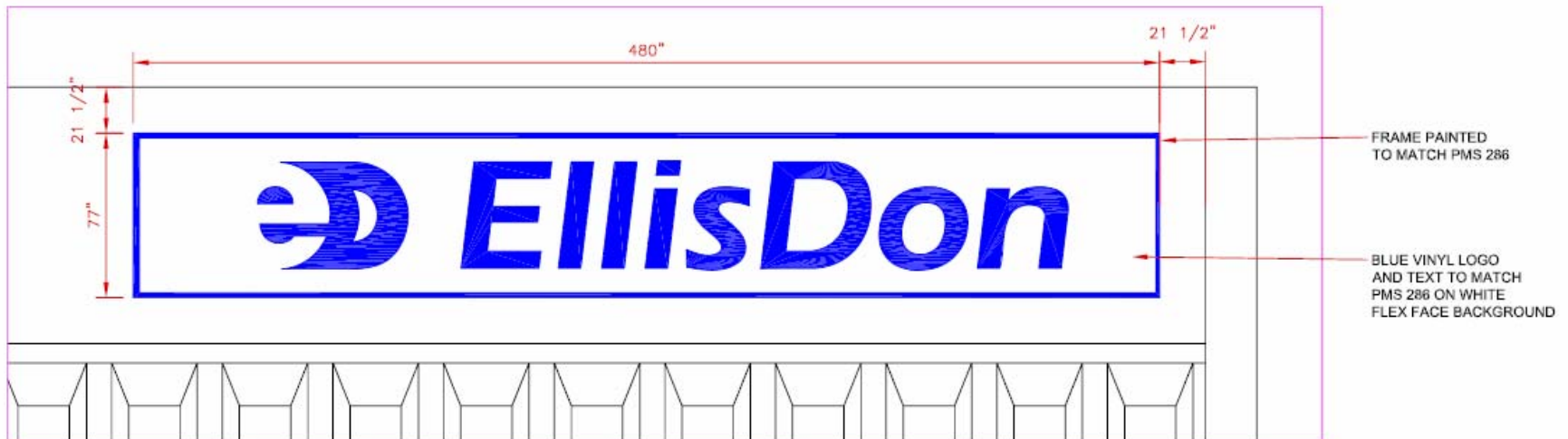
AC

SALES

DATE:

*** NOTE ***

- APPROVAL OF THESE DRAWINGS MEANS APPROVAL OF ALL THAT IS SHOWN (IE. STRUCTURE, MATERIALS, ARTWORK, FONTS, COLOUR SPECS, ETC.) UNLESS OTHERWISE INDICATED
- DRAINAGE HOLES ARE REQUIRED FOR EXTERIOR ILLUMINATED SIGNS



DETAIL C

SCALE: 1/4" = 1'-0"

NOTES:

DESIGN WIND PRESSURE IS 24 PSF (SUCTION)
DESIGN WEIGHT OF SIGN IS 2000 LB
ICE LOAD OF 31mm APPLIED TO FACE AREA
MOUNTING BOLTS TO BE STAINLESS STEEL
TYPE 304 OR 316 (35ksi MIN YIELD)
WEDGE ANCHORS ARE HILTI KWIKBOLT II (OR EQUAL)
INSTALL PER MFG INSTRUCTIONS & RECOMMENDATIONS
STRUCTURAL ALUMINUM IS ALLOY 6061-T6
REVIEWED FOR SIGN AND ATTACHMENT TO EXISTING
CONCRETE PARAPET WALL BY OTHERS
REPORT DISCREPANCIES TO ENGINEER FOR REEVALUATION



SIGN VARIANCE APPLICATION REPORT
Planning and Building Department

February 27, 2007

FILE: 06-00775

RE: Rexall Pharma Plus
6085 Creditview Road - Ward 11

The applicant requests the following variance to section 4(6) of the Sign By-law 0054-2002, as amended.

Section 4(6)	Proposed
A roof sign is specifically prohibited.	One doubled faced fascia sign located on a roof structure.

COMMENTS:

The proposed sign is placed on a structure which is an integral part of the building design. The sign is well design and therefore acceptable from a design perspective



Aug 28, 2006

City of Mississauga
Planning & Building Department
Sign Unit

Re: Variance Application for 6085 Creditview Rd Bldg AB, Mississauga, ON



To Whom It May Concern;

Katz Group Canada is developing the Rexall Logo as a brand identity which needs to be prominent on the buildings. The prototype building design is used throughout the country on their buildings for maximum corporate identity.

4145 7TH Concession

Windsor, Ontario N9A 6J3

Phone 519-972-9222

Toll Free: 1-800-265-9508

Fax 519-972-9220

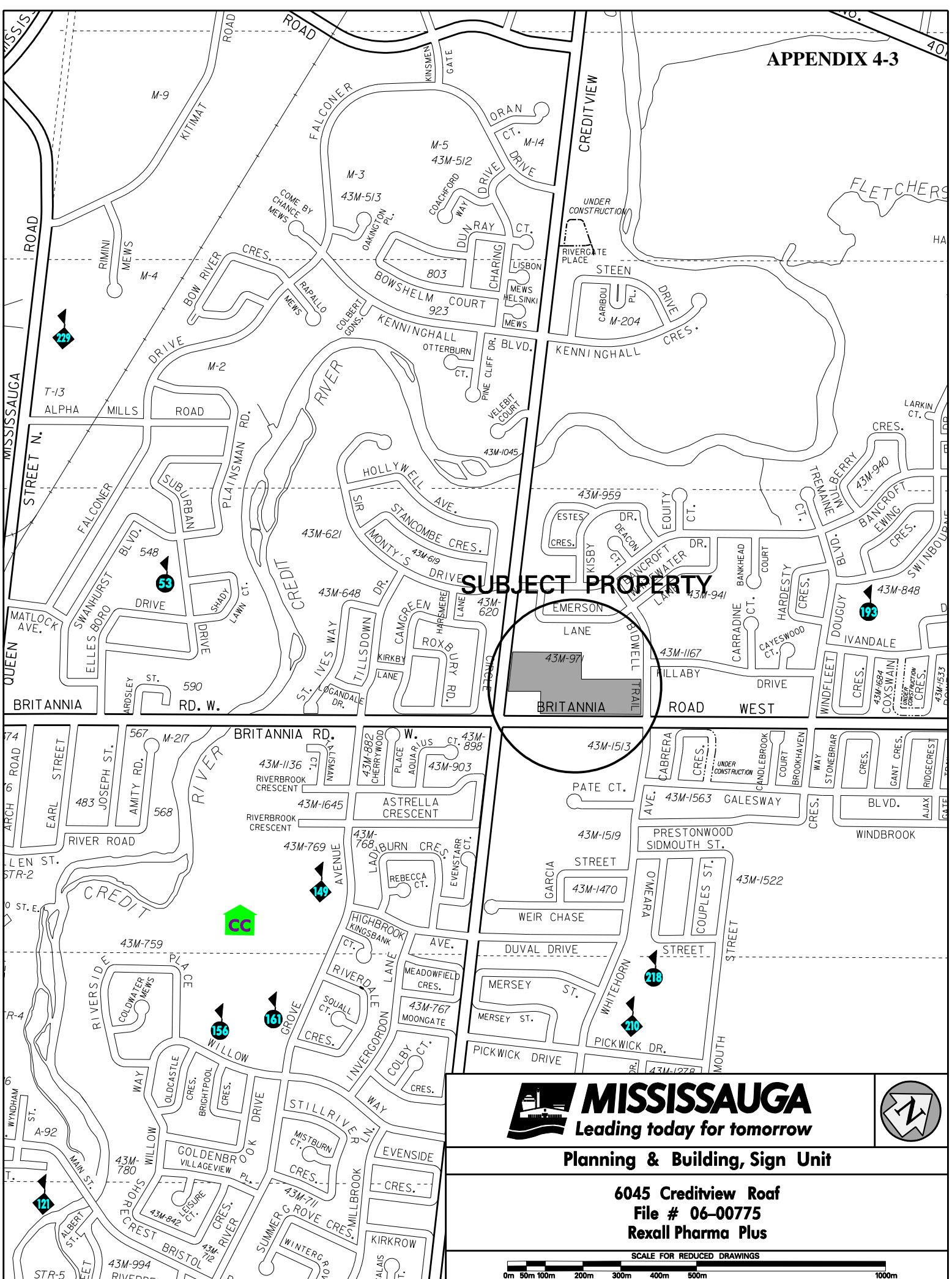
e-mail mail@acmesigns.com

Should you have any questions or concerns please do not hesitate to contact myself by either phone or email. Thank you in advance.

Best Regards,

A handwritten signature in blue ink, appearing to read "Larry Catton".

Larry Catton
President
Acme Signs



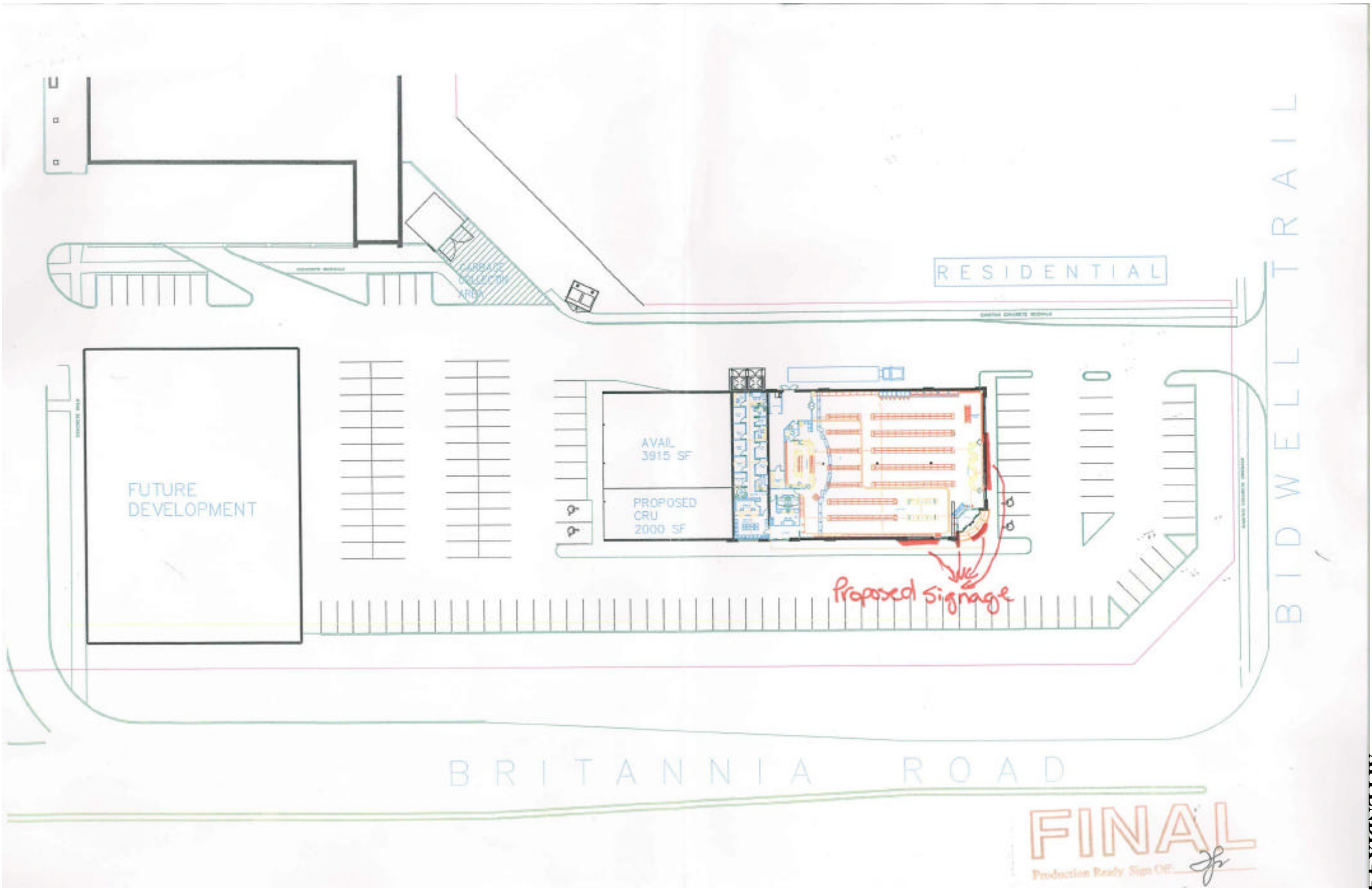
MISSISSAUGA
Leading today for tomorrow



Planning & Building, Sign Unit

**6045 Creditview Road
File # 06-00775
Rexall Pharma Plus**





FINAL
Production Ready Sign Off: *[Signature]*



REX-6FTX14FT-LOGO.CDL

PHA-48.5 IL-SC.CDL



REX-6FTX14FT-LOGO.CDL

PHA-5FT-REXALL LOGO.CDL

PHA-42-IL-SC.CDL



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

INTERNALLY ILLUMINATED CHANNEL LETTERS 2 TOTAL

(1) 3'-0" HIGH / (1) 4'-0" HIGH

LETTERS ARE MANUFACTURED FROM 1/8" ALUMINUM BACKS WITH A 2" ALUMINUM CHANNEL.

ILLUMINATED USING 15MM HORIZON BLUE (in blue letters) AND CORAL PINK (in orange letters).

TRANSFORMERS LOCATED INSIDE LETTERS.

FACES ARE 1/8" CLEAR ACRYLIC WITH DIFFUSER, 157 BLUE AND 64 ORANGE APPLIED FIRST SURFACE.

CAPS ARE FASTENED CAPS WITH 1" WHITE TRIMCAP.

RETURN TO BE PAINTED WHITE.

INTERNALLY ILLUMINATED LOGOS 5 TOTAL

(2) 3'-0" HIGH / (3) 6'-0" HIGH

CUSTOM ROUTED ALUMINUM BACK WITH AN 8" ALUMINUM RETURN PAINTED TO MATCH 157 BLUE.

CUSTOM 1/8" ALUMINUM REFINES FINISHED TO MATCH 157 BLUE.

FACE - 3/16" WHITE SEMI WITH VINYL GRAPHICS APPLIED FIRST SURFACE.

157 SUBV BLUE

64 ORANGE

ILLUMINATED WITH FLUORESCENT TUBES AND BALLASTS.

13 DIGITAL PRINTS TOTAL

Prints applied to second surface of 3/16" clear glass.

Rear faces are installed into frames which are fastened to existing masonry window openings.

Frame colour to match brushed aluminum.

Graphic configuration needs to be approved.

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This is a concept drawing only. Actual product may vary slightly due to production requirements and material restrictions.



APPROVED BY:

DATE:



DRAWING NUMBER:

PHA-1347-CREDIT VALLEY PERMIT

DESIGNED BY:

J LEROUX

SCALE:

1/16"=1'-0" & 1/8"=1'-0"

CUSTOMER:

KPSI

LOCATION:

6085 CREDIT VALLEY DR., MISS.

DATE:

MAY 11, 2006

MEASUREMENTS ARE VERIFIED BY SITE SURVEY.

NO

