



# Corporate Report

Clerk's Files

Originator's  
Files

BL.03-SIG (2007)

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**DATE:** January 16, 2007

**TO:** Chair and Members of Planning and Development Committee  
Meeting Date: February 5, 2007

**FROM:** Edward R. Sajecki  
Commissioner of Planning and Building

**SUBJECT:** **Sign By-law 0054-2002, as amended**  
**Sign Variance Applications**

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**RECOMMENDATIONS:** That the Report dated January 16, 2007, from the Commissioner of Planning and Building regarding Sign By-law 0054-2002, as amended, and the requested six (6) Sign Variance Applications described in Appendix 1 to 6 to the Report, be adopted in accordance with the following:

1. That the following Sign Variances **be granted:**

- (a) Sign Variance Application 06-3243  
Ward 2  
Erinwood Shopping Centre  
2400 Dundas St. W.

To permit the following:

- (i) One inflatable sign located within 35m of a residential property.
- (ii) One inflatable sign to be erected for a period of one month every December.

- (b) Sign Variance Application 06-02766  
Ward 5  
Kingsway Financial Services Inc.  
7120 Hurontario Street

To permit the following:

- (i) Two additional fascia signs located within the limits of the top floor and parapet.

- (c) Sign Variance Application 06-03151  
Ward 5  
NHD Development Ltd. / Region of Peel  
6965 Davand Drive

To permit the following:

- (i) The relocation of two existing ground signs fronting Derry Road West.
- (ii) One ground sign having a setback of 1.39m from a driveway.

- (d) Sign Variance Application 06-03224  
Ward 5  
Chatters Salon Beauty Superstore  
Orlando Corporation – Heartland Centre  
5950 Rodeo Drive

To permit the following:

- (i) One fascia sign having an area equal to 20.63% of the rear building façade.
- (ii) One fascia sign having an area equal to 27.93% of the front building façade.

- (e) Sign Variance Application 06-02955

Ward 7

Peel Regional Paramedic Services

To permit the following:

- (i) One fascia sign with an area of 1.48m<sup>2</sup> located on the side (south) elevation.

2. That the following Sign Variances **not be granted**:

- (a) Sign Variance Application 05-06781

Ward 1

Aggie Janiak Insurance Agency Ltd.

1348 Hurontario St.

To permit the following:

- (i) Two fascia signs illuminated by spotlights.

**BACKGROUND:**

The *Municipal Act* states that Council may, upon the application of any person, authorize minor variances from the Sign By-law if in the opinion of Council the general intent and purpose of the By-law is maintained.

**COMMENTS:**

The Planning and Building Department has received six (6) Sign Variance Applications (see Appendix 1 to 6) for approval by Council. Each application is accompanied by a summary page prepared by the Planning and Building Department which includes information pertaining to the site location; the applicant's proposal; the variance required; an assessment of the merits (or otherwise) of the application; and a recommendation on whether the variance should or should not be granted.

**FINANCIAL IMPACT:**

Not applicable.

**CONCLUSION:** Council may authorize minor variances from Sign By-law 0054-2002, as amended, if in the opinion of Council, the general intent and purpose of the By-law is maintained. Sign By-law 0054-2002, as amended, was passed pursuant to the *Municipal Act*. In this respect, there is no process to appeal the decision of Council to the Ontario Municipal Board, as in a development application under the *Planning Act*.

**ATTACHMENTS:** Aggie Janiak Insurance Agency Ltd.  
Appendix (1-1 to 1-6)

Erinwood Shopping Centre  
Appendix (2-1 to 2-8)

Kingsway Financial Services Inc.  
Appendix (3-1 to 3-8)

NHD Development Ltd. / Region of Peel  
Appendix (4-1 to 4-8)

Chatters Salon Beauty Superstore  
Appendix (5-1 to 5-5)

Peel Regional Paramedic Services  
Appendix (6-1 to 6-6)

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Edward R. Sajecki  
Commissioner of Planning and Building

Prepared By: Darren Bryan, Supervisor Sign Unit



**SIGN VARIANCE APPLICATION REPORT**  
**Planning and Building Department**

January 16, 2007

**FILE:** 05-06781

**RE:** Aggie Janiak Insurance Agency Ltd.  
1348 Hurontario Street - Ward 1

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**The applicant requests the following variance to section 12 of the Sign By-law 0054-2002, as amended.**

<b>Section 12</b>	<b>Proposed</b>
Prohibits fascia signs in Mineola District.	Two (2) fascia signs, illuminated by spotlights.

**COMMENTS:**

This variance application was previously refused by Planning and Development Committee on September 6, 2005. However, the applicant was not properly notified of the meeting date and therefore did not have an opportunity to discuss the matter with the committee. In this regard, the variance application has been brought forward to this Planning and Development Committee meeting and the applicant has been properly informed.

Sign By-law 0054-2002, as amended, contains specific provisions for signs in this portion of the Mineola District Plan. The sign provisions are to ensure the residential character of the area is maintained. In this regard, the Sign By-law prohibits fascia signs in this area.

The proposed variance although small in nature, is still a fascia sign, advertising their business. In addition, the sign is illuminated by spotlights, which is out of character for a residential area.


**AGGIE JANIAK INSURANCE AND FINANCIAL SERVICES AGENCY**
**1348 HURONTARIO ST, MISSISSAUGA, ON L5G 3H4**
**OFFICE: (905) 271-5959 FAX: (905) 271-4211**
**EMAIL: aggie.janiak.c4bi@statefarm.com**

Thursday June 23, 2005

To: The City of Mississauga  
Planning and Building Department  
Sign Unit

Re: Property on: 1348 Hurontario Street Mississauga, On L5G 3H4  
Owner: 1262041 Ontario Inc

To Whom It May Concern:

In regards to the awning signs at the above noted address, I respectfully apply for a variance permit.

The awnings were installed in the summer of 1999, replacing awnings that were already existing from the previous owners of the property. I had contacted Roberts Awnings & Signs to replace the old awnings and made sure the new awnings were tasteful, taking into consideration the surrounding neighbourhood, which I personally live in as well.

I was under the impression that the sign company was to notify me if any permits were required, it wasn't until now that I was told I needed a permit.

The awnings act as a source of advertising for my business and I have not had a single complain regarding the signs in 6 years.

They are maintained and pressure washed to keep up with the building appearance. I believe they add a little charm to the look of the building and at the same time they help to advertise my business which ultimately helps with the revenue that is necessary to keep staff on board and pay all increasing business expenses.

I kindly ask you to grant the variance, so my awnings can remain as they are.

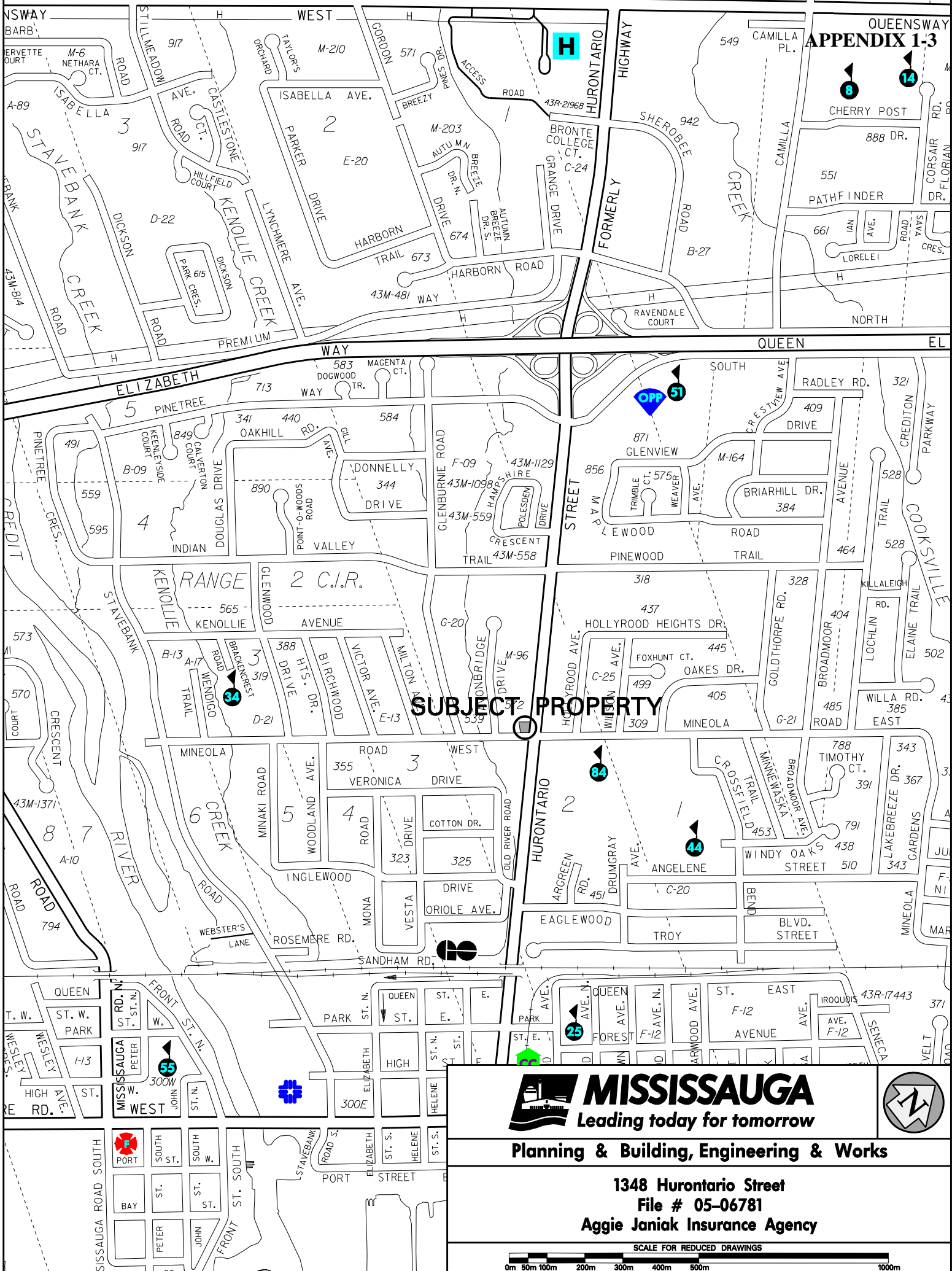
If you have any questions please call me at (905) 271-5959 ext 224.

Sincerely,

Aggie Janiak

President of 1262041 Ontario Inc and Aggie Janiak Insurance Agency Ltd.

CITY OF MISSISSAUGA BUILDING DIVISION		
FILE REF.		
DATE REC:	JUN 24 2005	
ROUTE TO	REC'D BY	DATE



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Planning & Building, Engineering & Works

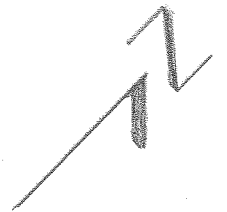
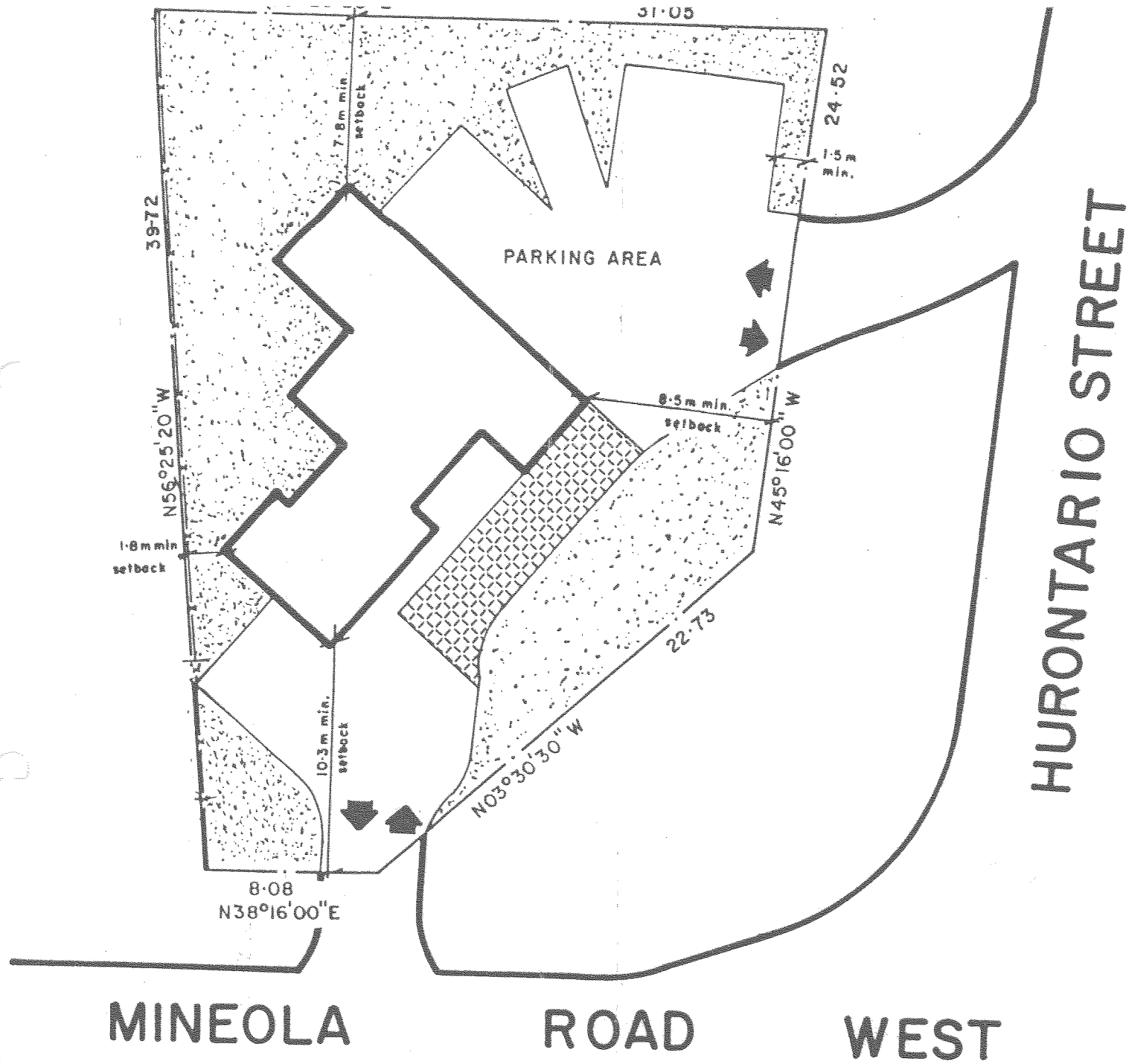
1348 Hurontario Street

File # 05-06781

Aggie Janiak Insurance Agency

SCALE FOR REDUCED DRAWINGS











**July 17, 2005**

**1348 Hurontario Street  
Southwest Elevation**

**J. Grech**



**SIGN VARIANCE APPLICATION REPORT**  
**Planning and Building Department**

January 16, 2007

**FILE:** 06-03243

**RE:** Erinwood Shopping Centre  
2400 Dundas Street West - Ward 2

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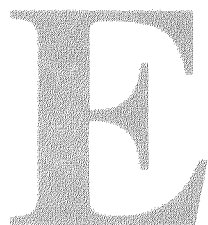
**The applicant requests the following variance to sections 29A(3)(d) and 29A(6) of the Sign By-law 0054-2002, as amended.**

<b>Section 29A(3)(d)</b>	<b>Proposed</b>
An inflatable sign shall be located a minimum of 92 m (301 ft.) from a residential property.	One (1) inflatable sign located within 35 m (115 ft.) of a residential property.
<b>Section 29A(6)</b>	<b>Proposed</b>
Inflatable signs shall be issued for periods of a maximum of fourteen (14) days.	To permit one (1) inflatable sign to be erected, for a period of one (1) month, every December.

**COMMENTS:**

The proposed variance is for a temporary inflatable Santa Claus on the roof of a plaza. The plaza backs onto residential properties on Loanne Drive but is heavily screened by vegetation. The proposed inflatable sign had been previously approved as a variance in 2005. As of this date, the City received no complaints regarding the inflatable sign from the residents on Loanne Drive.

As the proposed inflatable sign does not impact on the residential properties, the Planning and Building Department have no concerns with the proposed variances.



# ERINWOOD SHOPPING CENTRE *Inc.*

2458 DUNDAS STREET WEST - MISSISSAUGA, ONTARIO L5K 1R8

TELEPHONE:  
1-905-279-1750  
FAX:  
1-905-822-9155

December 5, 2006

Mr. Darren Bryan, Supervisor  
Planning and Building Department  
Sign Division  
300 City Centre Drive  
Mississauga, Ontario  
L5B 3C1

Dear Sir:

Re: Minor Variance Application  
For Inflatable Santa Claus at  
Erinwood Shopping Centre  
2400 Dundas Street West  
Application Number 3243

<b>BUILDING DIVISION</b>		
BUILDING	DEPT. FILE:	
DATE RECD	DEC - 7 2006	
ROUTE TO:	RECD BY:	DATE:

We are the owners of the above-noted plaza and for the past 12 years or so, we have installed a large inflatable Santa Claus on the roof of our plaza for the 2-3 week period leading up to Christmas. We have never had any complaints from tenants, customers or residents about this Christmas decoration and we have never had any problems or incidents relating to Santa Claus.

Last year, after providing all the necessary drawings and structural information, we received a Minor Variance approval for the installation for a 2 week period in December, 2005, and again this year, on November 3, 2006, we applied for the same minor variance and sign permit, so we could install this decoration this year.

We would like to request that when this matter is heard at the Committee meeting in the new year, that the minor variance be approved as a multi-year approval, and we would ask that you include this request in our application.

Page 2....

If you require more information or details, please contact us. Thank you  
for your assistance in this matter.

Yours very truly,

ERINWOOD SHOPPING CENTRE INC.

A handwritten signature in cursive script, reading "Kathy Puma".

Per: Kathy Puma  
Property Manager

/kp

SUBJECT PROPERTY



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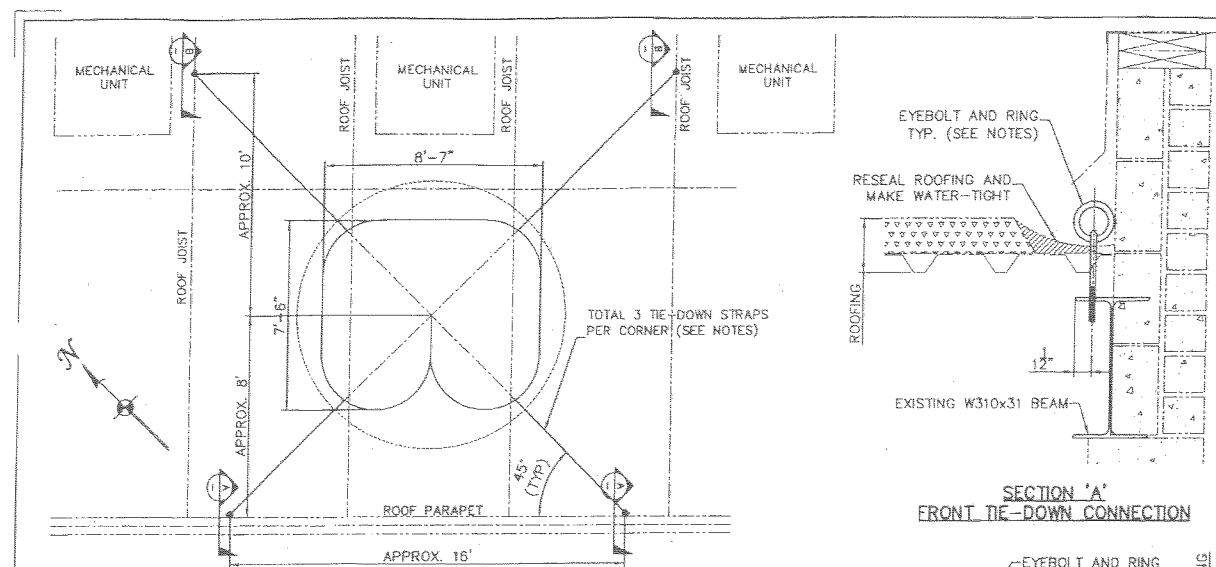
**Planning & Building, Sign Unit**

**2400 Dundas Street West  
File # 06-03243  
Erinwood Shopping Centre**

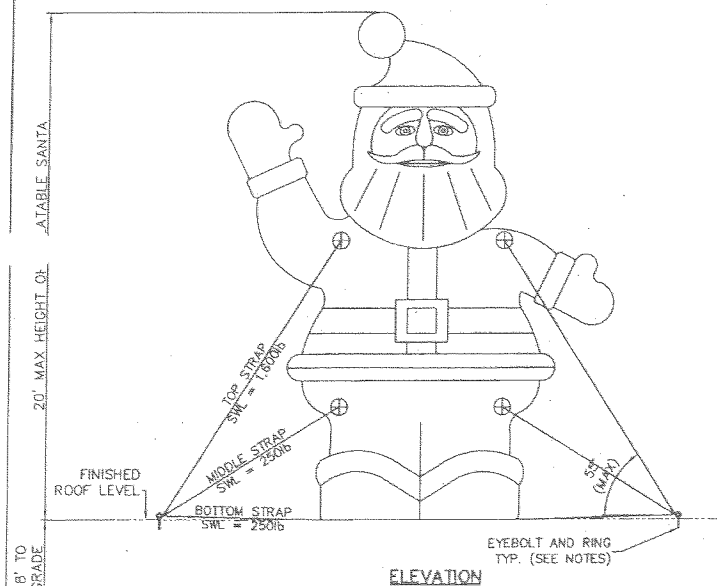
SCALE FOR REDUCED DRAWINGS

0m 50m 100m 200m 300m 400m 500m 1000m

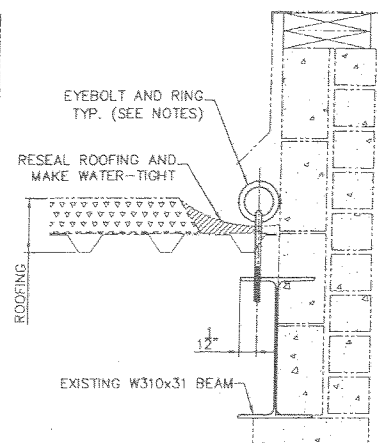




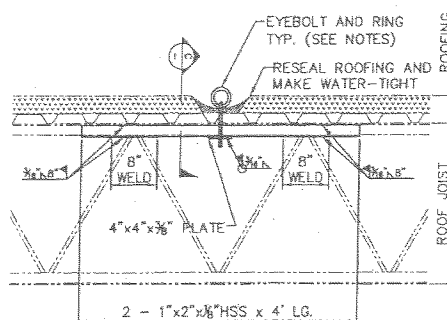
PLAN AND FOOTPRINT



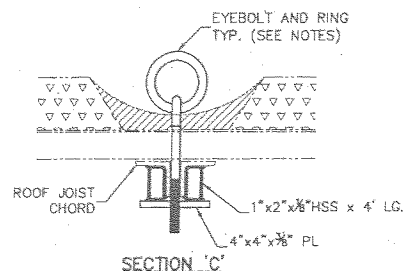
ELEVATION



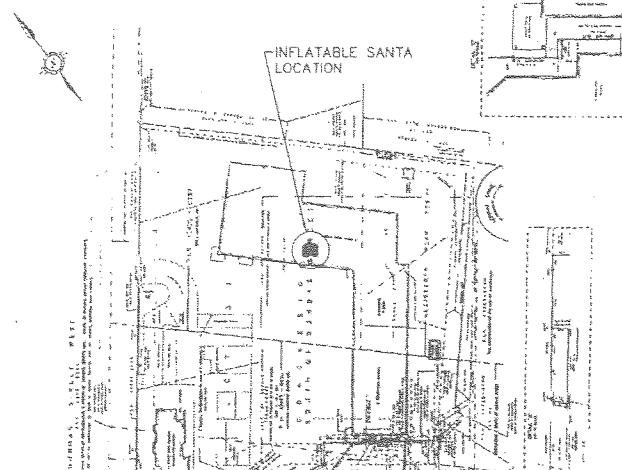
SECTION 'A'  
FRONT TIE-DOWN CONNECTION



SECTION 'B'  
REAR TIE-DOWN CONNECTION



SECTION 'C'



PARTIAL SITE PLAN

NOTES:

1. MAXIMUM UNFACTORED WIND LOAD = 1,215lb/f (5.4kN) ( $q 1/30 = 0.45kPa$ )
2. ALL STRAPS TO BE TIGHTENED TO REMOVE ANY SLACK WHILE IN USE
3. INFLATABLE SANTA MANUFACTURED BY INFLATABLE IMAGES, BRUNSWICK, OHIO (S/N 0011014)
4. HOLES IN ROOFING TO BE RESEALED AND MADE WATER-TIGHT AFTER INSTALLATION
5. INSTALLATION HARDWARE SPECIFICATIONS: (OR APPROVED EQUIVALENTS)

TIE-DOWN STRAPS

BOTTOM AND MIDDLE STRAPS (4 EA. REQ'D)  
CTS CARGO 1"x50' INFLATABLE TIE-DOWN  
Pl.No. IFS14850 (SWL 250lb)

TOP STRAPS (4 REQ'D)  
CTS CARGO 2"x20' RATCHET STRAP  
w/3/8" WIRE HOOK, SHORT HANDLE  
Pl.No. RS21820-WS (SWL 1,600lb)

EYEBOLT AND RING (4 REQ'D)  
CROSBY GROUP 3/4"x6" C-257  
SHOULDER NUT RING BOLTS  
Pl.No. 1046371 (SWL: 2,200lb)

NO.	DATE	REVISION
0	06/12/05	ISSUED FOR PERMIT
380 Woodloch Street South, Brampton, Ontario N6G 1A0 Telephone: (905) 648-3191 Fax: (905) 648-3505 Email: j.venditti@csgroup.com		
PROJECT ERINWOOD SHOPPING CENTRE INC. 2458 DUNDAS ST. W. MISSISSAUGA, ONTARIO		
DRAWING INFLATABLE SANTA LOCATION AND INSTALLATION DETAILS		
DRWN BY TDO	SCALE: NTS	
CHECKED JAV	DATE: Dec. 6, 2005	
PROJECT No. 1185	DWG. No. S1	



Location of proposed inflatable sign



2400 Dundas Street West – Front (West) Elevation



**2400 Dundas Street West – East (Side) Property Line**



**SIGN VARIANCE APPLICATION REPORT**  
**Planning and Building Department**

January 16, 2007

**FILE:** 06-02766

**RE:** Kingsway Financial Services Inc.  
7120 Hurontario Street - Ward 5

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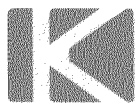
**The applicant requests the following variance to section 13 of the Sign By-law 0054-2002, as amended.**

<b>Section 13</b>	<b>Proposed</b>
Permits two fascia signs per building located between the limits of the top floor and the parapet.	Two additional fascia signs (totalling four fascia signs) to be located within the limits of the top floor and parapet.

**COMMENTS:**

The additional fascia signs are proposed to be located between the limits of the top floor and the parapet on the west and east elevations of the building. There are two other fascia signs located between the limits of the top floor and the parapet on the north and south elevations of the building, which have been already approved.

The applicant proposes very modest graphic signage which are inkeeping with the design of the building. The Planning and Building Department therefore finds the proposed variance acceptable from a design perspective.

**KINGSWAY FINANCIAL SERVICES INC.**

5310 Explorer Drive, Suite 200, Mississauga, Ont. L4W 5H8 • (905) 629-7888 • (905) 629-5008

October 23, 2006

City of Mississauga  
Planning & Building Department  
300 City Centre Drive  
Mississauga, Ontario  
Canada L5B 3C1

**Re: Signage Permit for 7120 Hurontario Street**

To Whom It May Concern:

This letter is in reference to the above noted signage permit application. The current City of Mississauga By-law allows signage on only 2 elevations of any building. Kingsway Financial Services is requesting relief from this requirement.

The building is situated such that it has exposure and access from all 4 sides. It is located on the west side of Hurontario Street. The traffic on this main thoroughfare travels in a north and south direction. Consequently "Kingsway Financial Services" signs are located on the north and south elevations addressing this traffic. These signs also address traffic along Derry Road further to the south and Highway 407 further to the north.

The main entrances to the building are located on the east and west sides. The Kingsway Financial Services Logo "K" is located above these entrances. The main parking lot is located on the west side of the building as well as the new Derrycrest Drive. Any traffic entering this subdivision on Derrycrest Drive will not have exposure to the north and south building signage, hence the requirement for building identification on the west elevation. The east entrance is the main pedestrian access to the building necessitating building identification on this elevation. The "K" logos proposed are moderate in size and do not create what might be termed "signage pollution".

We request that you consider the above noted rationale in order to grant us relief from the current signage by-law. Should you have any further questions or require any additional explanations, please do not hesitate to contact the undersigned.

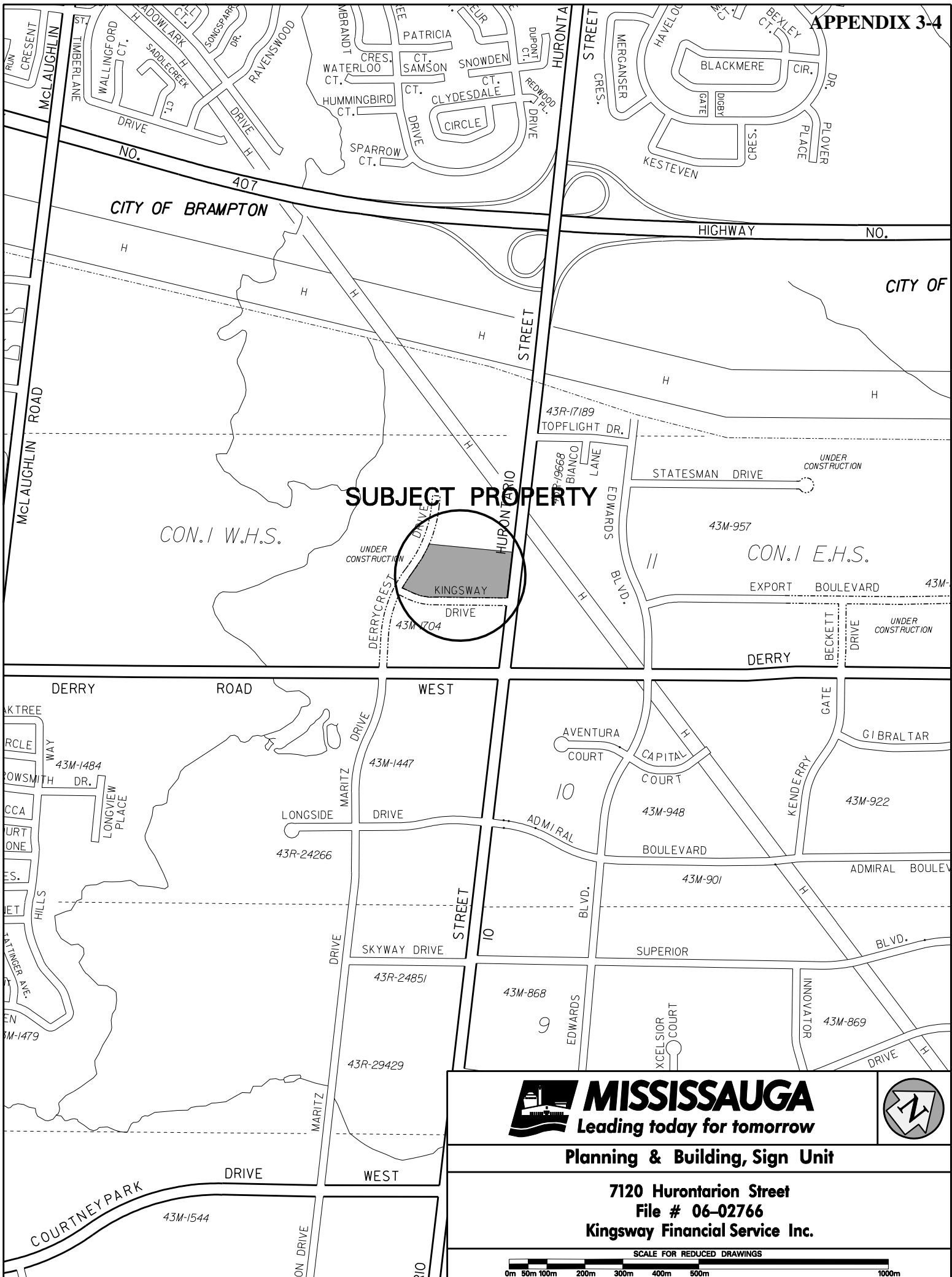
Sincerely,

**Kingsway Financial Services**

A handwritten signature in cursive script, appearing to read "D. Fielding".

Dennis Fielding  
Vice President, Administration & HR  
Kingsway Financial Services  
Direct (905)206-6471

cc. GWL (Martin Toomes)



**SUBJECT PROPERTY**

CON. I W.H.S.

CON. I E.H.S.

KINGSWAY DRIVE

DERRY

DERRY ROAD

WEST

AVENTURA COURT

CAPITAL COURT

GIBRALTAR

LONGSIDE DRIVE

DRIVE

BOULEVARD

43M-922

ADMIRAL BOULEVARD

SKYWAY DRIVE

STREET

10

43M-868

EDWARDS

SUPERIOR

INNOVATOR

43M-869

DRIVE

DRIVE

WEST

COURTNEY PARK

43M-1544



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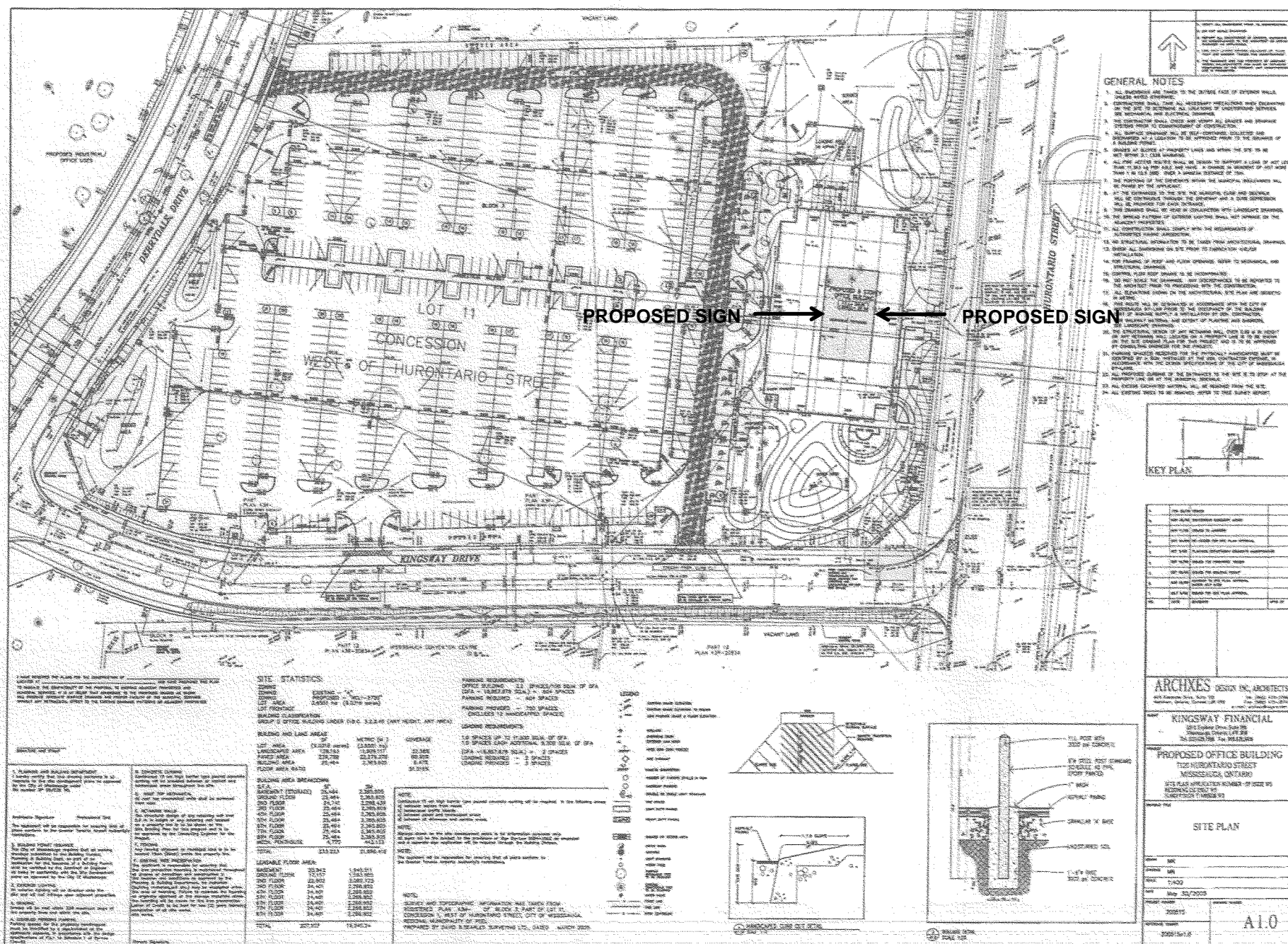
**Planning & Building, Sign Unit**

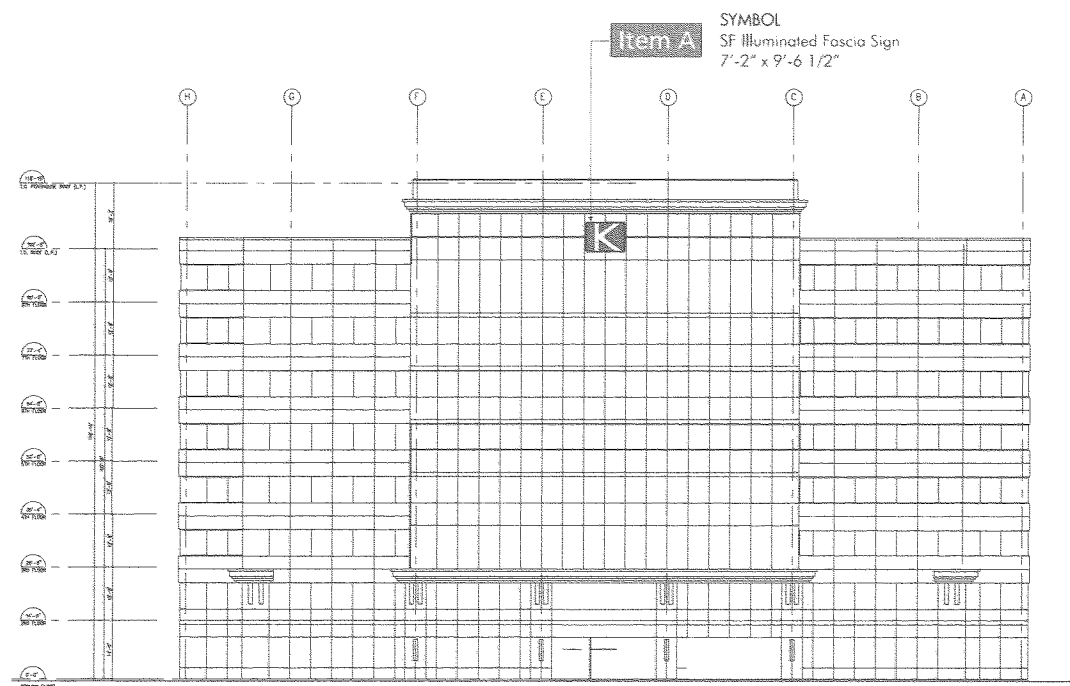
**7120 Hurontario Street**

**File # 06-02766**

**Kingsway Financial Service Inc.**







WEST ELEVATION

861 Denison St. Unit 102  
Markham, Ontario  
L3R 3L6

Tel: 905 248 2626  
Fax: 905 248 2625

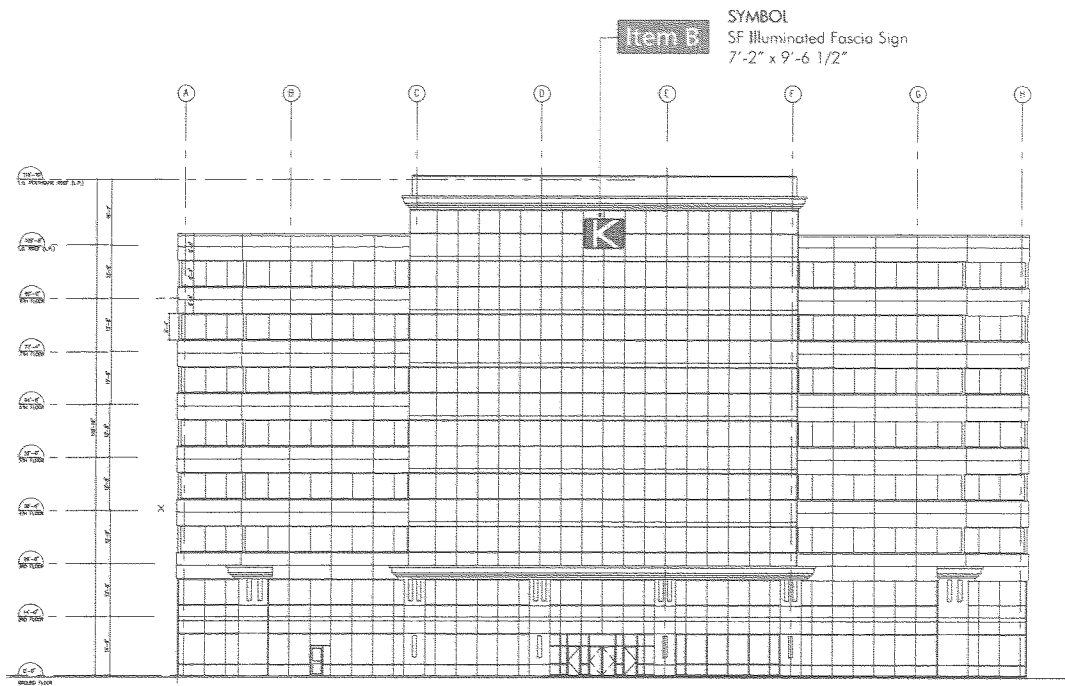


Job Name: **KINGSWAY FINANCIAL**

Dwg. Title  
**WEST ELEVATION - ITEM A**

client:	AECON CONSTRUCTION	checked by:	HM	page no.	1 of 8
project:	7120 HURONTARIO ST., MISSISSAUGA, ON	scale:	NTS	Dwg. no.	
date:	AUGUST 8, 2006	file name:	KINGSWAY FINANCIAL MISSISSAUGA 2006	<b>KWY06-1</b>	





EAST ELEVATION

861 Denison St. Unit 102  
Markham, Ontario  
L3R 3L6

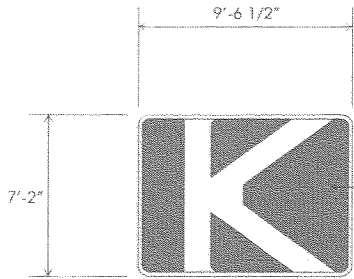
Tel: 905 248 2626  
Fax: 905 248 2625



Job Name: KINGSWAY FINANCIAL

Dwg. Title  
EAST ELEVATION - ITEM B

client:	AECON CONSTRUCTION	checked by:	HM	page no.	2 of 8
project:	7120 HURONTARIO ST., MISSISSAUGA, ON	scale:	NTS	Dwg. no.	KWY06-2
date:	AUGUST 8, 2006	file name:	KINGSWAY FINANCIAL MISSISSAUGA 2006		



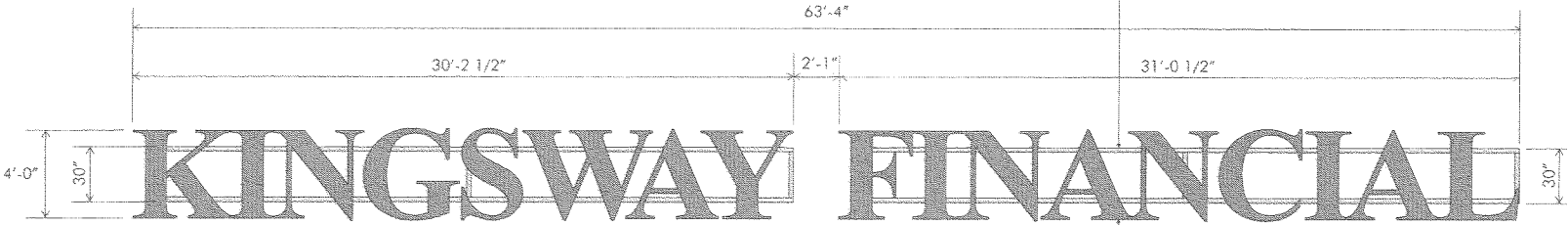
**Sign face**  
- 3/16" thk. WHITE polycarbonate  
w/ translucent vinyl graphics  
Avery #5010 RED (front applied)

**Sign Frame**  
- EX13 aluminum WHITE

**Sign filler**  
- 16 ga. Aluminum WHITE

Item A / Item B

SYMBOL



Item C / Item D

WORDMARK

**Letters Mounting Support**  
- 2 1/2" x 2 1/2" x 1/4"  
aluminum structural tubing  
(horizontal & vertical members)  
- painted to match  
bldg.trim colour: Blue?

**Letter faces**  
- 3/16" thk. #2051 Plexiglas-BLUE

**Letter Returns**  
- 16 ga. Aluminum  
- Returns to be painted WHITE

**Trim Cap**  
- 2" Plastic - WHITE

861 Denison St. Unit 102  
Markham, Ontario  
L3R 3L6  
  
Tel: 905 248 2626  
Fax: 905 248 2625



Job Name: KINGSWAY FINANCIAL

Dwg. Title  
GRAPHICS LAYOUT & SPECS - ITEM A, B, C & D

client:	AECON CONSTRUCTION	checked by:	HM	page no.	4 of 8
project:	7120 HURONTARIO ST., MISSISSAUGA, ON	scale:	3/16"=1'-0"	Dwg. no.	
date:	AUGUST 8, 2006	file name:	KINGSWAY FINANCIAL MISSISSAUGA 2006		KWY06-4



**SIGN VARIANCE APPLICATION REPORT**  
**Planning and Building Department**

January 16, 2007

**FILE:** 06-03151

**RE:** NHD Development Ltd. / Region of Peel  
6965 Davand Drive - Ward 5

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**The applicant requests the following variances to sections 14 & 16 of the Sign By-law 0054-2002, as amended.**

<b>Section 14</b>	<b>Proposed</b>
Permits one ground sign per street line in an industrial zone.	Relocation of two ground signs fronting Derry Road West.
<b>Section 16</b>	<b>Proposed</b>
A ground sign shall not be located within 3 m (9.8 ft.) of a driveway entrance or exit.	One ground sign having a setback of 1.39 m (4.56 ft.) from a driveway.

**COMMENTS:**

The Region of Peel is undertaking a road widening of Derry Road adjacent to the subject lands. As a result of the road widening, two existing ground signs for the adjacent buildings have to be relocated.

1. There are two separate multi-tenant buildings with separate addresses on the subject lands and one ground sign for each building. The size and height of the ground signs conforms to provisions of the Sign By-law. The Planning and Building Department therefore finds the variance to be within the intent of the Sign By-law.
2. The setback from the driveway has been reviewed by the Region of Peel –Traffic Operations. They do not feel that the location of the signs will have any sort of detrimental impact on the traffic operation of Derry Road and further, they do not feel that the signs will pose any concerns on the private side. The Planning and Building Department therefore have no further concerns with the variance.

Peel sign relocations at 6965-6985 Davand for Derry Road Widening Project

**Jeffery Grech - Peel sign relocations at 6965-6985 Davand for Derry Road Widening Project**

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**From:** "Smith, Jeffrey" <Jeffrey.Smith@peelregion.ca>  
**To:** <wayne.nishihama@mississauga.ca>, <jeff.grech@mississauga.ca>  
**Date:** 2006/12/13 11:31 AM  
**Subject:** Peel sign relocations at 6965-6985 Davand for Derry Road Widening Project  
**CC:** <info@countrysigns.ca>, "Ballaro, Sean" <Sean.Ballaro@peelregion.ca>

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Hi Wayne and Jeff,

Please find comments from our Traffic Supervisor below indicating no concerns with the sign location attached. Please let me know if you require any further information for the permit to be approved.

Thanks for your ongoing help on this one.

Thanks, Jeff

Jeff Smith, Appraiser/Negotiator, Real Estate Section, Region of Peel

Phone (905) 791-7800, x7667 Fax (905) 791-3645 Toll Free 1-888-919-7800

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**From:** Ballaro, Sean  
**Sent:** December 13, 2006 9:40 AM  
**To:** Smith, Jeffrey  
**Cc:** Gillon, Eleanor  
**Subject:** FW: Dixie Derry

Hi Jeff, further to our discussions, I have reviewed the attached and have no concerns with the placement of the ground signs as indicated on the plan. As we discussed, I do not feel that the location of these signs will have any sort of detrimental impact on the operation of Derry Road and, further, they do not appear to pose any concerns on the private side.

If you require any additional information or would like to discuss this matter further, please contact me.

Sean Ballaro

Supervisor

Traffic Operations

Traffic and Transportation Engineering

Engineering and Construction

Telephone (905) 791-7800 ext 7849

Facsimile (905) 791-1442

E-Mail [sean.ballaro@peelregion.ca](mailto:sean.ballaro@peelregion.ca)

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**From:** Smith, Jeffrey  
**Sent:** December 12, 2006 1:08 PM  
**To:** Ballaro, Sean  
**Subject:** Dixie Derry  
**Importance:** High

Can you call me to discuss this please.

<<NHD Option-3 Oct 30 2006 SNC.pdf>>

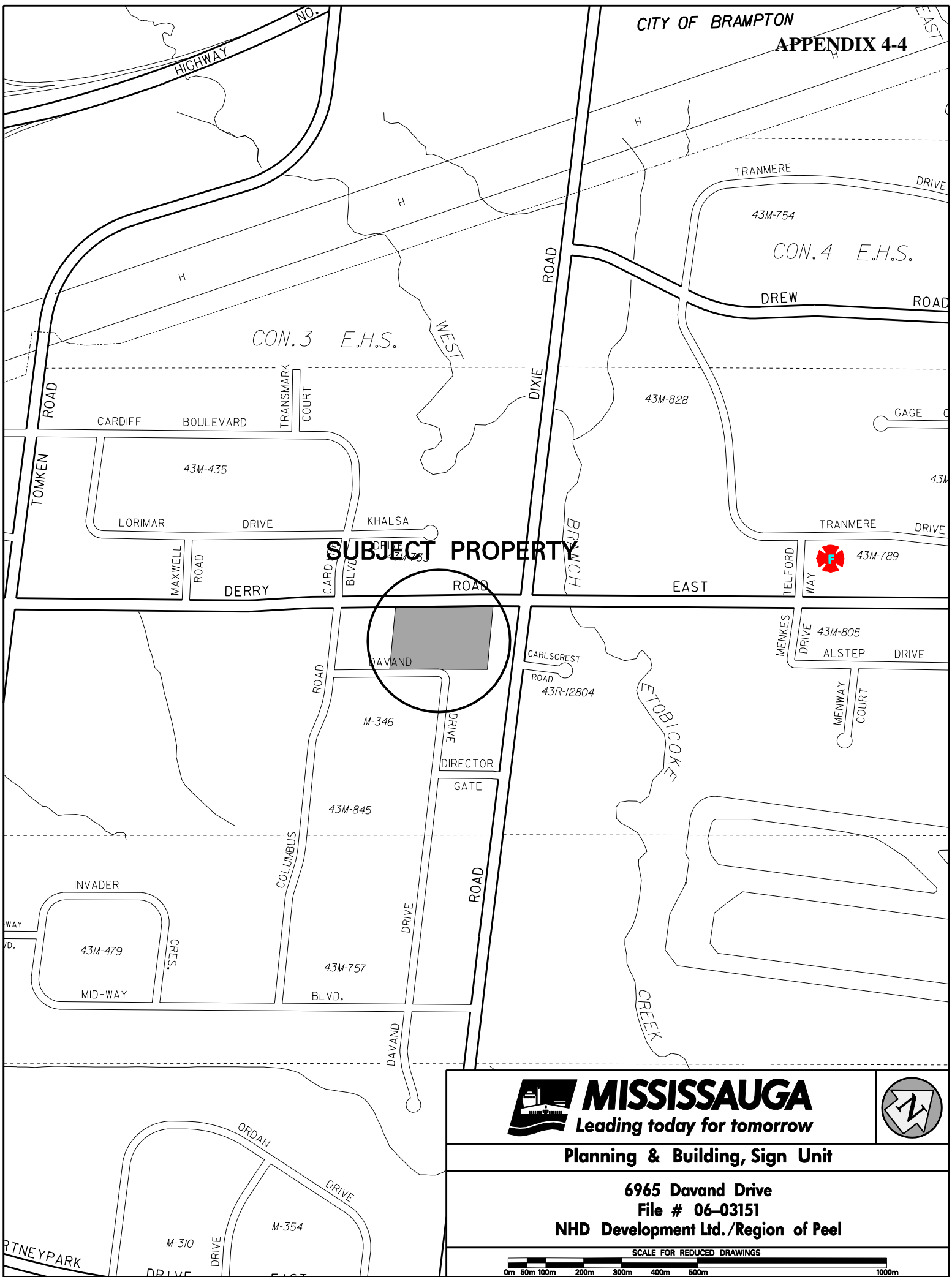
Thanks, Jeff

Jeffrey J. Smith, AACI, SR/WA, B.A., Appraiser/Negotiator - Real Estate Section

Facilities Construction and Real Estate Division, Housing and Property Department, The Regional Municipality of Peel

2nd Floor, North Tower, 150 Central Park Drive, Brampton, ON L6T 2T9

Phone (905) 791-7800, x7667 Fax (905) 791-3645 Toll Free 1-888-919-7800 web [www.peelregion.ca](http://www.peelregion.ca)



**MISSISSAUGA**  
Leading today for tomorrow



**Planning & Building, Sign Unit**

**6965 Davand Drive**

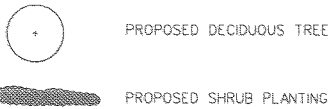
**File # 06-03151**

**NHD Development Ltd./Region of Peel**

SCALE FOR REDUCED DRAWINGS

0m 50m 100m 200m 300m 400m 500m 1000m

LEGEND

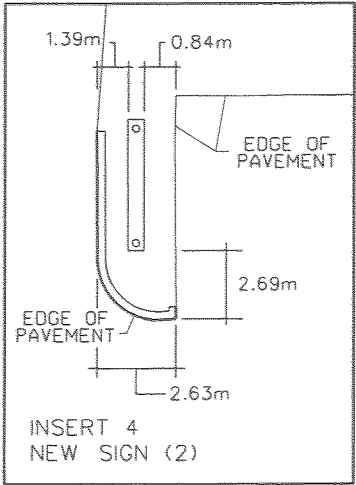
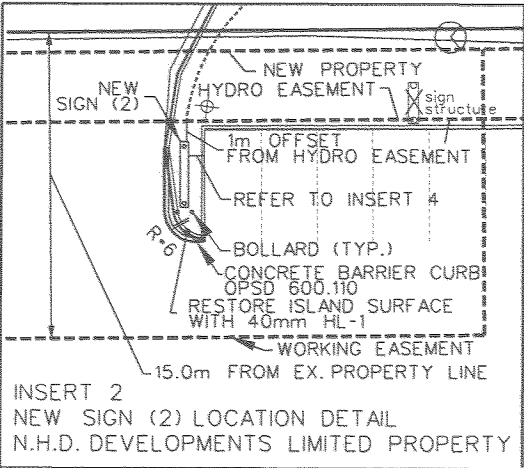
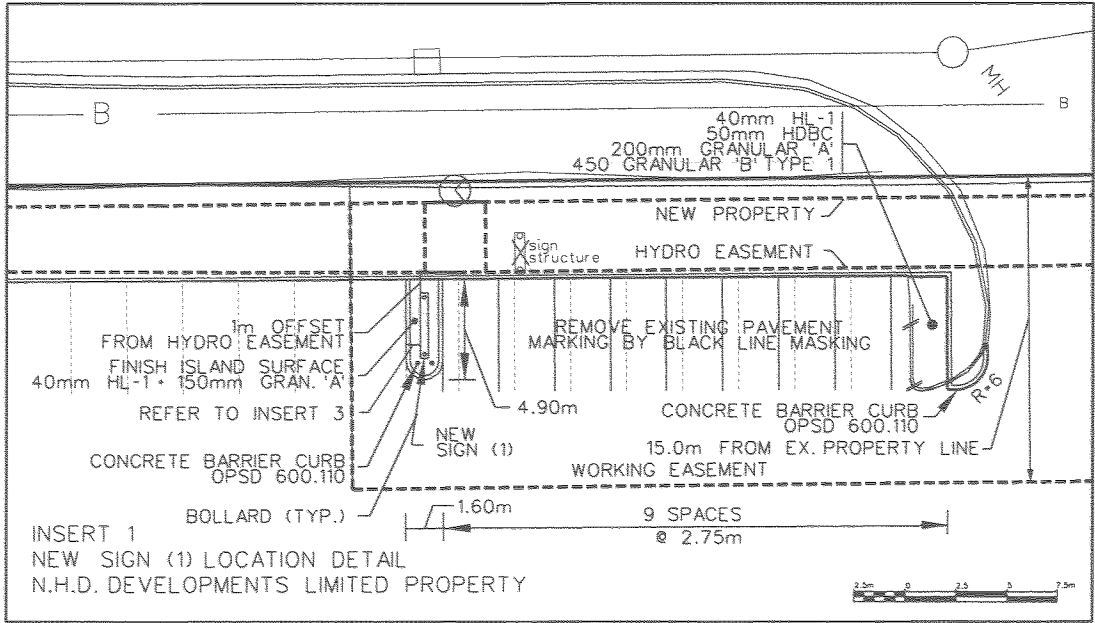
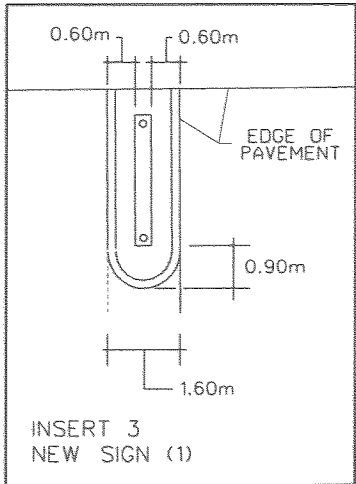
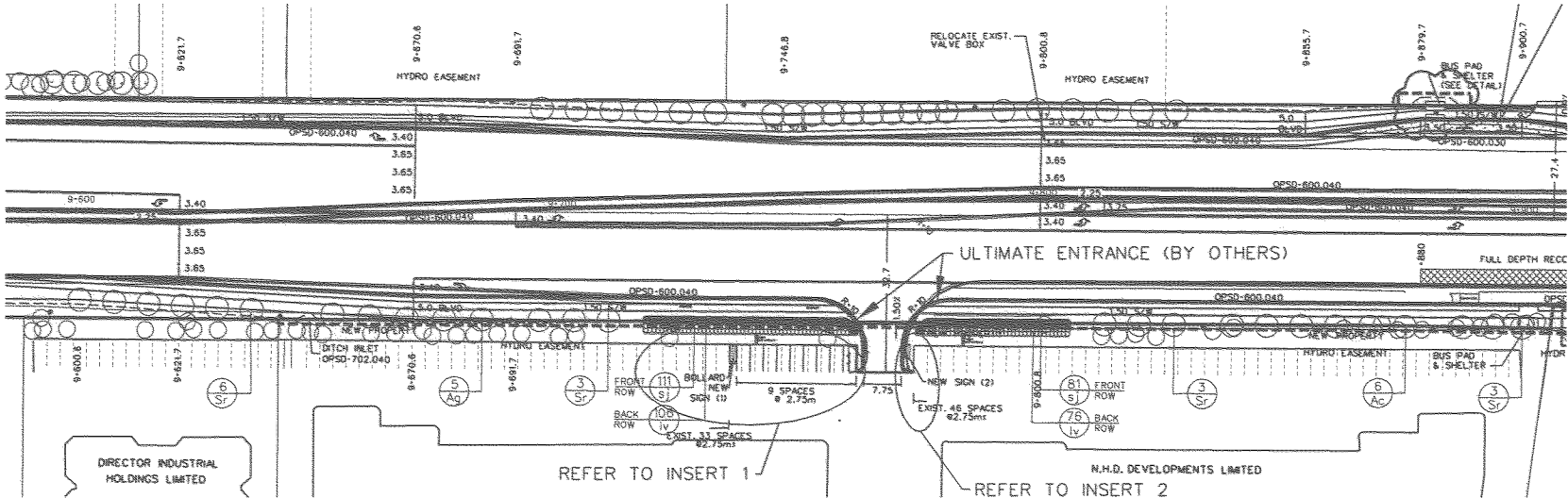


PLANT LIST

KEY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	LOCATION	REMARKS
SMALL DECIDUOUS TREES						
1	●	Amelanchier l. grandiflora 'Reba' var.	Reba 25 Serviceberry	40 mm cal.	N.B.	
2	●	Acid. canadensis	Orange Spice	40 mm cal.	N.B.	
3	●	Styrax relictus 'Henry Sh.' var.	Henry Sh. Tree Lilac	40 mm cal.	N.B.	
SHRUBS						
1	■	Liquidambar styraciflua	Common Sweetgum	40 mm cal.	3 gallon pot	
2	■	Salix purpurea 'Guthrie'	Guthrie Salix	40 mm cal.	1 gallon pot	



DERRY ROAD



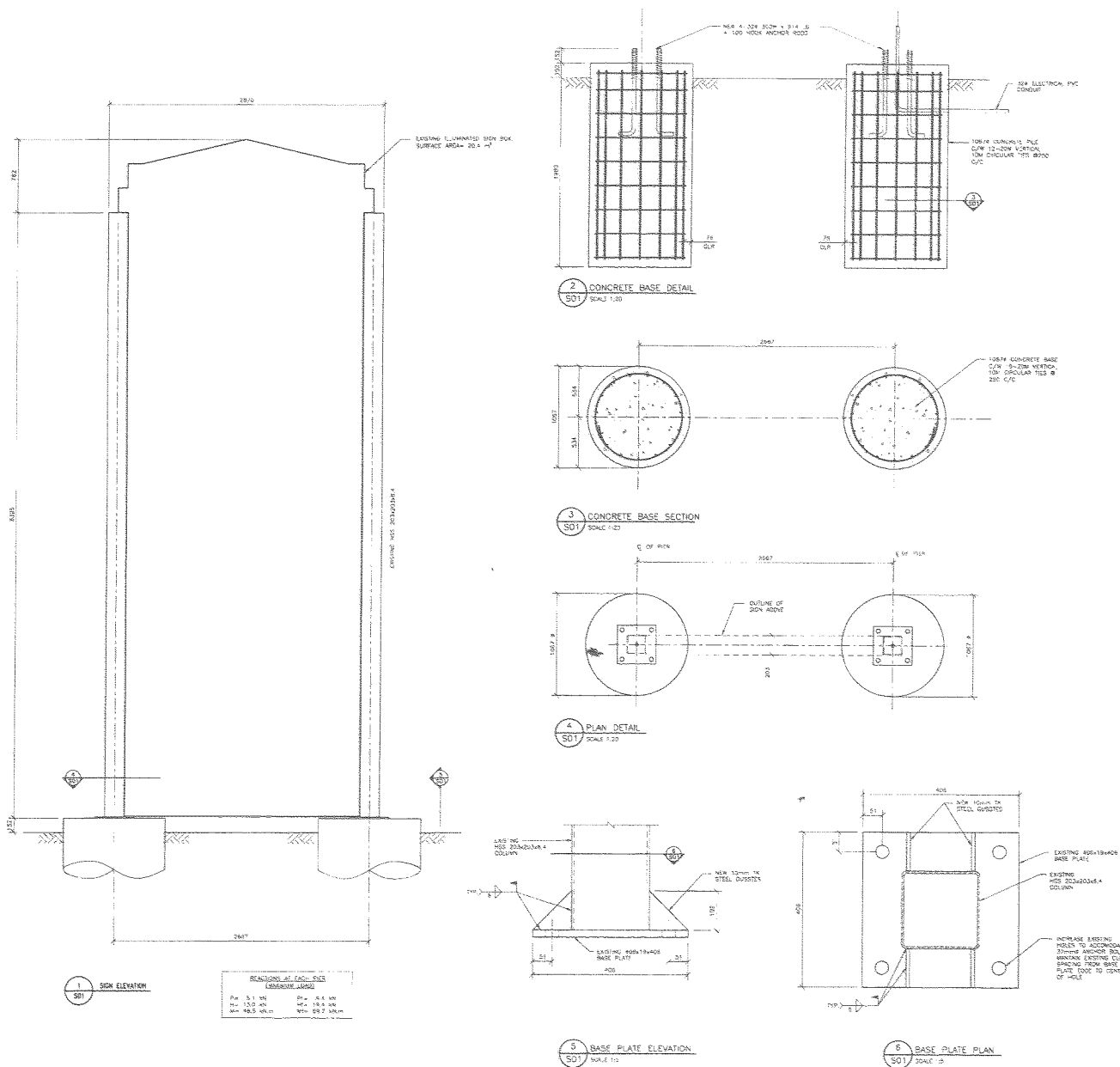


EXISTING SIGN  
(EAST SIGN)





EXISTING SIGN  
(WEST SIGN)



- GENERAL NOTES**
- THE FOUNDATION STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE CANADIAN BUILDING CODE 1987
  - THE CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH THE EXISTING STRUCTURE. DIMENSIONS SHALL BE GIVEN IN METERS. DIMENSIONS SHALL BE GIVEN IN METERS. DIMENSIONS SHALL BE GIVEN IN METERS.
  - HAD STRUCTURAL DRAWINGS IN CONSTRUCTION WITH SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS.
  - ALL REFERENCES TO CODES & STANDARDS ARE TO THE LATEST EDITION.

- SITE INSPECTION, REPORTS & DESIGN**
- THE EXISTING BUILDING CODE SPECIFICATIONS HAVE BEEN FIELD REVIEWED BY THE STRUCTURAL ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF THE START OF CONSTRUCTION TO REQUEST SUCH REVIEW BY THE STRUCTURAL ENGINEER.
  - SHALL PARTY INSPECTION AND TESTING REPORTS ARE TO BE SUPPLIED TO THE STRUCTURAL ENGINEER BY THE CONTRACTOR FOR THE FOLLOWING:
    - SOIL BEARING CAPACITY FOR ALL FOOTINGS
    - CONCRETE CYLINDER TEST REPORTS FOR STRUCTURAL CONCRETE

- FOUNDATION AND BACKFILLING**
- FOUNDATION DESIGN IS BASED ON AN ASSUMED ALLOWABLE SOIL PRESSURE OF 15.0 kPa (150 kN/m<sup>2</sup>)
  - EXTERIOR FOOTING SHALL EXTEND MINIMUM 1500 mm BELOW FINISH GRADE, CONFORM WITH LOCAL AUTHORITIES
  - ALL TOLLERS SHALL BE FURNISHED ON ORDER. UNFURNISHED SOIL OR CONCRETE SHALL BE SPECIFIED IN THE GUTTERING REPORT. BEFORE FINISHING FOOTINGS, SOIL QUALITY MUST BE APPROVED BY A GEOTECHNICAL ENGINEER.
  - THE LINE OF SLOPE BETWEEN THE ADJACENT EXCAVATIONS FOR FOOTINGS SHALL NOT EXCEED A RISE OF 1 IN 4 RISE OF 1.0. MAXIMUM SLOPE APPROXIMATELY 24°.
  - GEOTECHNICAL REPORT: NOT AVAILABLE

- CAST-IN-PLACE CONCRETE**
- CONFORM TO CSA STANDARD A23.1, GENERAL MATERIALS AND METHODS OF CONCRETE CONSTRUCTION. A23.2, METHODS OF TEST FOR CONCRETE AND A23.3, DESIGN OF CONCRETE STRUCTURES IN DETAILING. REPAIR, PLACEMENT, CURING, FINISHING AND PROTECTION OF CONCRETE.
  - COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS
 

LOCATION	STRENGTH	MAXIMUM ALLOWABLE (SEE NOTE)
EXTERIOR PIER TYPE F2	25 MPa	20

MAXIMUM SLUMP IS TO BE 3" (75 mm). CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR-ENHANCEMENT OF 5%.
  - ALL REINFORCING STEEL SHALL BE BILLET STEEL BASE FOR CONCRETE REINFORCEMENT IN ACCORDANCE WITH CSA STANDARD A23.16, BILLET STEEL SHAFTS FOR CONCRETE REINFORCEMENT, CLASS 300 (YIELD) MPa.
  - CONCRETE COVER FOR REINFORCING STEEL, SHAFTS AND PLACING BOLTS SHALL BE IN ACCORDANCE WITH CSA STANDARD A23.1.

- LOADS**
- DEAD LOADS: PYLON SIGN 0.5 kPa
  - WIND LOADS
 

1/10 = 0.27 kPa
1/20 = 0.48 kPa
  - SEISMIC DATA
 

Zone 1
z = 0
z = 0.25
z = 1.0

The undersigned has reviewed and approved the design of the structure and the foundation and hereby certifies that the design complies with the requirements of the Ontario Building Code of 1997 and the applicable provisions of the Ontario Building Code of 1997.

**DESIGNATION INFORMATION**

Project name: *McCaivor Engineering Limited*

Project number: *19825*

Project date: *19825*

Project location: *McCaivor Engineering Limited*

Revisions		
NO.	DESCRIPTION	DATE

Issue Table	
ISSUE DESCRIPTION	DATE
ISSUED FOR PERMIT	10/13/06

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME. REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE COMMENCING WORK.

DRAWINGS ARE NOT TO BE SCALED.

© McCaivor Engineering Limited 2006



**McCAIVOR ENGINEERING LIMITED**

1000 HURONTARIO ST., SUITE 203  
MISSISSAUGA, ONTARIO L4W 1A7  
TEL: (905) 276-1000  
FAX: (905) 276-1001  
WWW.MCCAIVOR.COM

**PROJECT**

**PYLON SIGN RELOCATION**

6953 DAYLAND DRIVE  
MISSISSAUGA, ONTARIO

**DESCRIPTION**

**NORTH EAST  
PYLON SIGN  
FOUNDATION**

**WORK NO.** 200600014 **DRAW NO.** 00001

**DESIGNED BY:** S.E. **DRAWN BY:** J.B.

**SCALE:** AS SHOWN **DRAWING NO.:** SOT

**DATE:** 10/13/06

SIGN REVIEWED FOR STRUCTURAL STEEL  
COLUMNS AND FOUNDATION DESIGN ONLY



**SIGN VARIANCE APPLICATION REPORT**  
**Planning and Building Department**

January 16, 2007

**FILE:** 06-03224

**RE: Chatters Salon Beauty Superstore**  
**Orlando Corporation – Heartland Centre**  
**5950 Rodeo Drive – Ward 5**

---

**The applicant requests the following variance to section 13(1) of the Sign By-law 0054-2002, as amended.**

<b>Section 13(1)</b>	<b>Proposed</b>
The maximum sign area for a fascia sign is 15% of the side or rear building façade which faces a parking lot or driveway and does not have a main entrance.	The sign area for proposed fascia sign is 20.63% of the rear building façade which does not face a parking lot or driveway and does not have a main entrance.
The maximum sign area for a fascia sign is 20% of the front building façade.	The sign area for proposed fascia sign is 27.93% of the front building façade.

**COMMENTS:**

1. The proposed fascia sign on the rear elevation of the building is similar in size to those on rear/side elevations of the adjacent units. The Planning and Building Department therefore finds the variance acceptable from a design perspective.
2. The proposed fascia sign on the front elevation is similar in size to those on the front elevation of the adjacent units. The Planning and Building Department therefore finds the variance acceptable from a design perspective.



**ORLANDO CORPORATION**

6205 Airport Road, Mississauga, Ontario L4V 1E3 Telephone: (905) 677-5480 Fax: (905) 677-2824

**Letter of Authorization/Rationale**

October 20, 2006

City of Mississauga  
Planning and Building Department  
300 City Centre Drive  
Mississauga, Ontario L5B 3C1

**Re: 5950 Rodeo Drive, Mississauga, Ontario**  
**Variance for Proposed Exterior Signage – Chatters Salon**

Dear Jeff Grech:

Orlando Corporation has reviewed the aforementioned Tenant's request for exterior signage at the rear of the building at 5950 Rodeo Drive. As Mikasa has downsized their leased premises and Chatters Salon is occupying the remainder of their previous space, both retailers want to reap the rewards of exterior signage. Please note that Mikasa and Danier already have signs on the side of the building which the City of Mississauga has approved.

Due to the competitive nature of Retailers it is reasonable that they request signage, specifically as it is at the rear of their premises and is not impeding any other Tenant's signage opportunities.

The Landlord asks that you review this matter and attempt to accommodate this Tenant's request.

We trust the above is satisfactory, otherwise please contact the writer to discuss further.

Yours truly,

**ORLANDO CORPORATION**

  
Dan Hyde  
Senior Manager, Shopping Centres

DH\*lds

cc: Lino Malito, Project Co-ordinator  
Jim Turner, Senior Vice President Engineering/Purchasing

Text p.

BUILDING DIVISION		
BUILDING	APPENDIX 5-2	
DEPT. FILE:		
DATE REC'D	OCT 23 2006	
ROUTE TO:	REC'D BY:	DATE:

**SUBJECT PROPERTY**



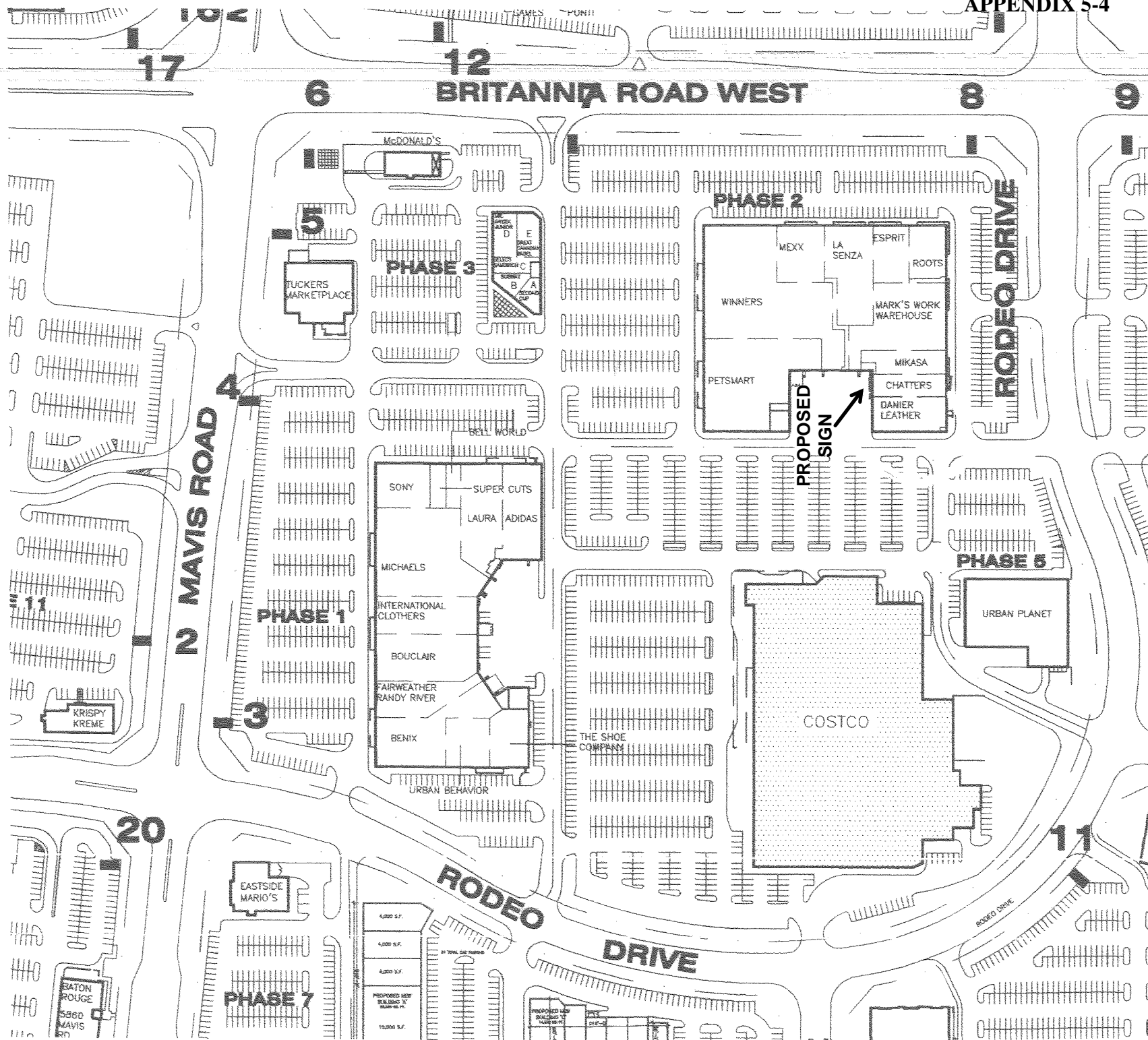
**5950 Rodeo Drive**  
**File# 06-3224**  
**Chatters Salon Beauty Superstore**

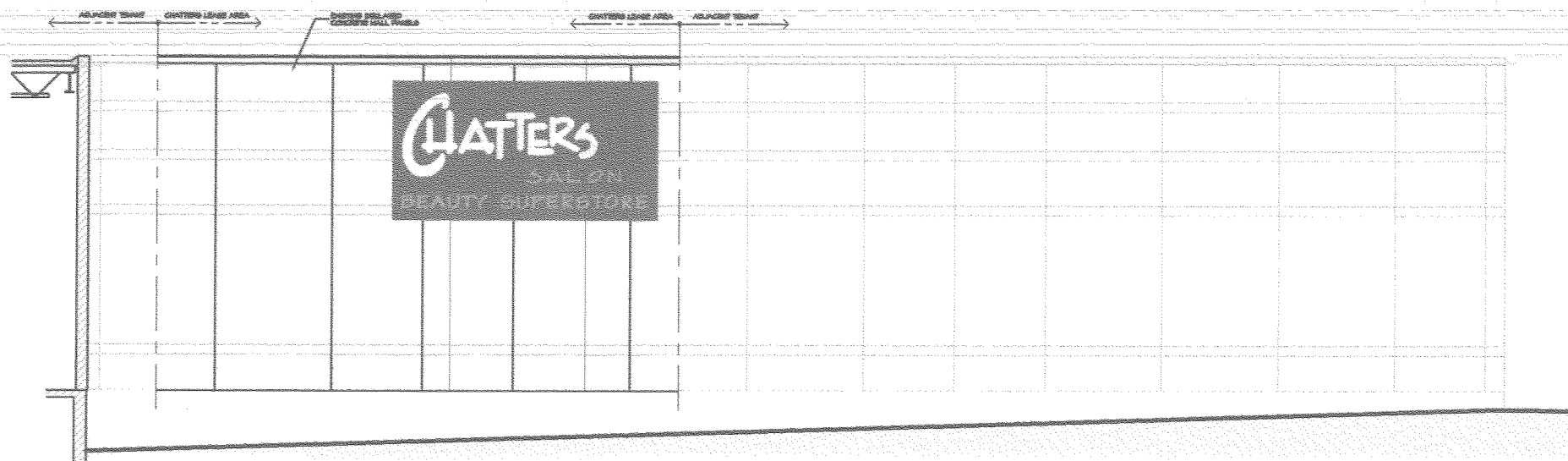
**SCALE FOR REDUCED DRAWINGS**



CHARTERS - 5950 RODEO DR.

SITE PLAN



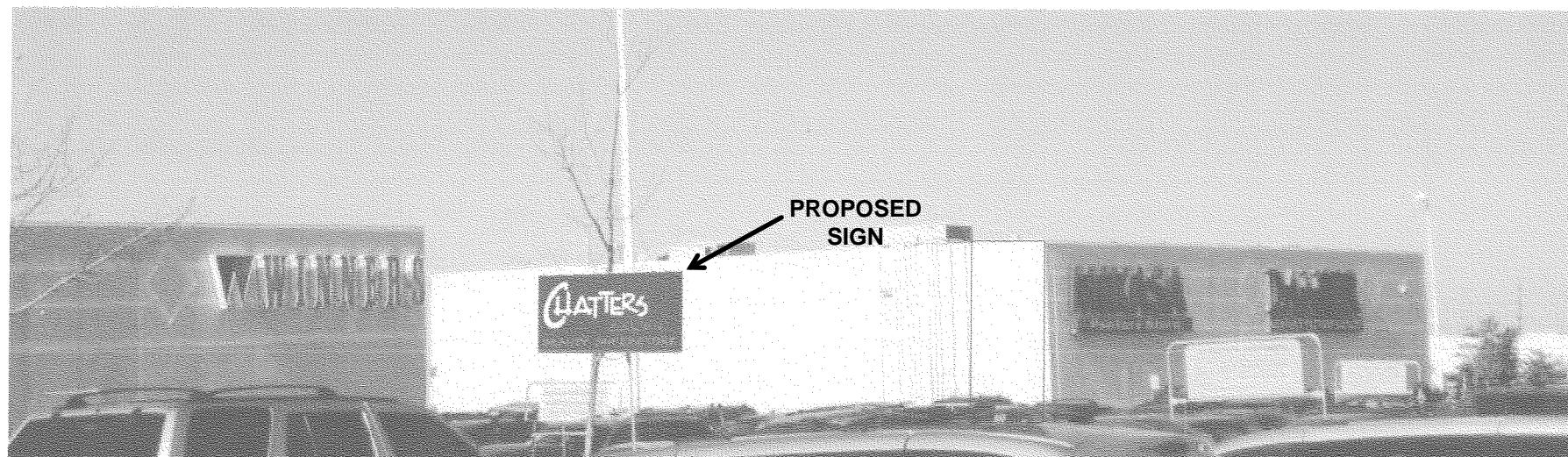


Store Back Elevation  
SCALE 1/8" = 1'

5.8 m x 3.05 m

Carrier background box approx. 228" wide x 120" high, to be no more than 2.5" thick

All aluminum construction





**SIGN VARIANCE APPLICATION REPORT**  
**Planning and Building Department**

January 16, 2007

**FILE:** 06-02955

**RE:** Peel Regional Paramedic Services  
2355 Tedlo Street – Ward 7

---

**The applicant requests the following variance to section 14 of the Sign By-law 0054-2002, as amended.**

<b>Section 14</b>	<b>Proposed</b>
Permits fascia signs only on the front elevation a building.	One (1) fascia sign 1.48 m <sup>2</sup> (16 sq. ft.) located on the side (south) elevation.

**COMMENTS:**

The proposed fascia sign provides identification of the premise for the north bound traffic along Tedlo Drive. The rational provided “*Given that this one of the busiest paramedic stations in Peel Region and given the number of ambulances leaving the station, this identification will allow for early warning to north bound traffic.*” is more than reasonable to justify the need for the sign. The Planning and Building Department therefore finds the variance acceptable from a public safety perspective.





Housing  
and Property  
Services

150 Central Park Drive  
2<sup>nd</sup> Floor, North Tower  
Brampton, Ontario  
L6T 2T9

November 9, 2006

City of Mississauga  
Mississauga, Ontario

Dear Sir/Madam,

Re: Paramedic Station, Tedlo Dr.  
Exterior Signage - City of Mississauga Committee of Adjustment

We have proposed to exterior signs for the new Paramedic location on Tedlo Dr.  
A primary sign of about 1.2m x 2.4m above the ambulance access doors on the west façade and a secondary sign to be mounted high on the south face at the upper front corner of the wall.

There are two primary purposes for the signs:

1. Identification for visitors and deliveries
2. Public identification for reasons of Safety


The primary west facing sign on the building front identifies the presence of the paramedic services at this location for the public on Tedlo Dr.

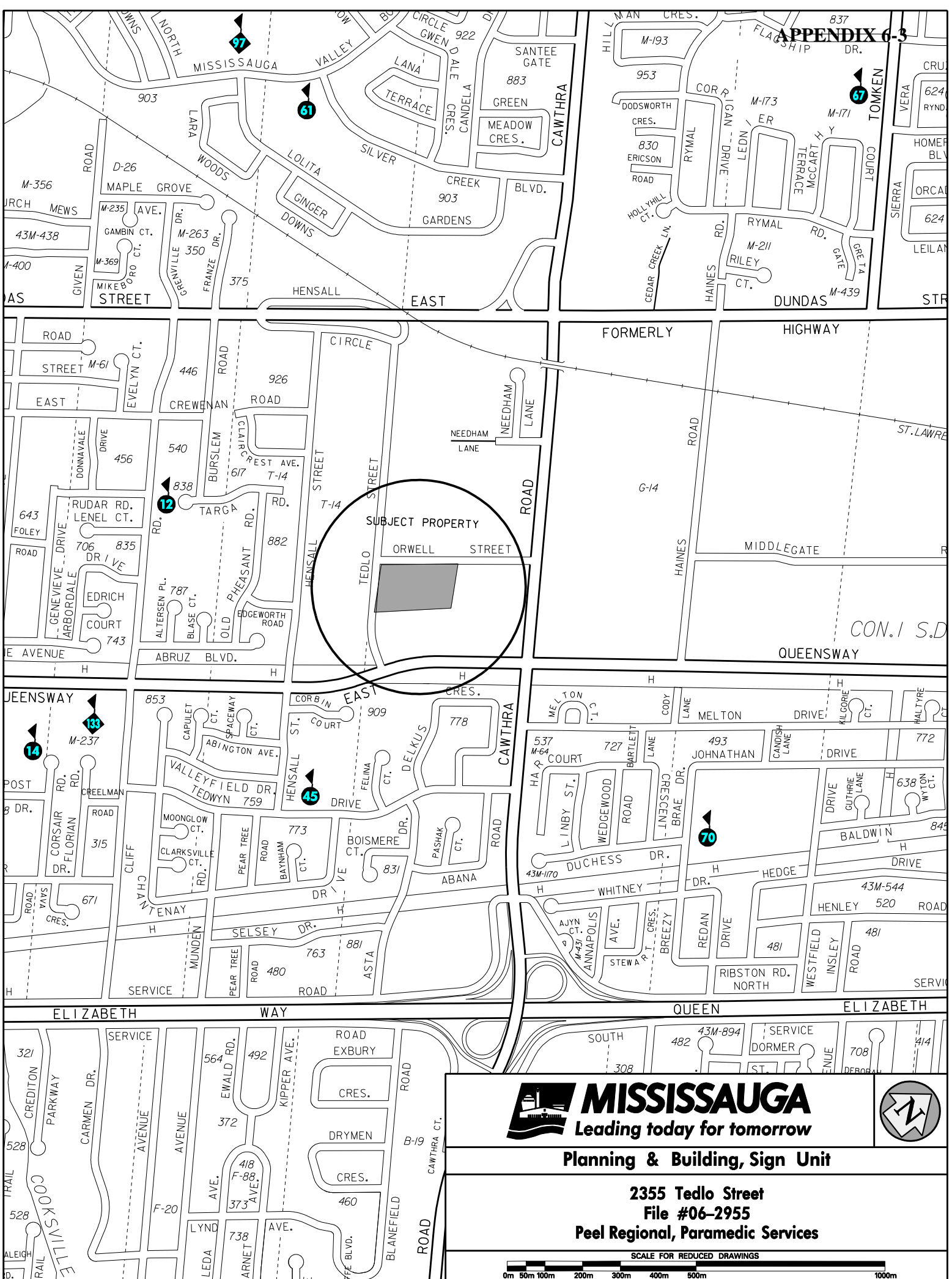
The secondary south facing sign mounted high on the corner of the building allows for early identification of the station for north bound traffic. Given that this is one of the busiest paramedic stations in Peel Region and given the number of ambulances leaving the station, this identification will allow for early warning to north bound traffic.

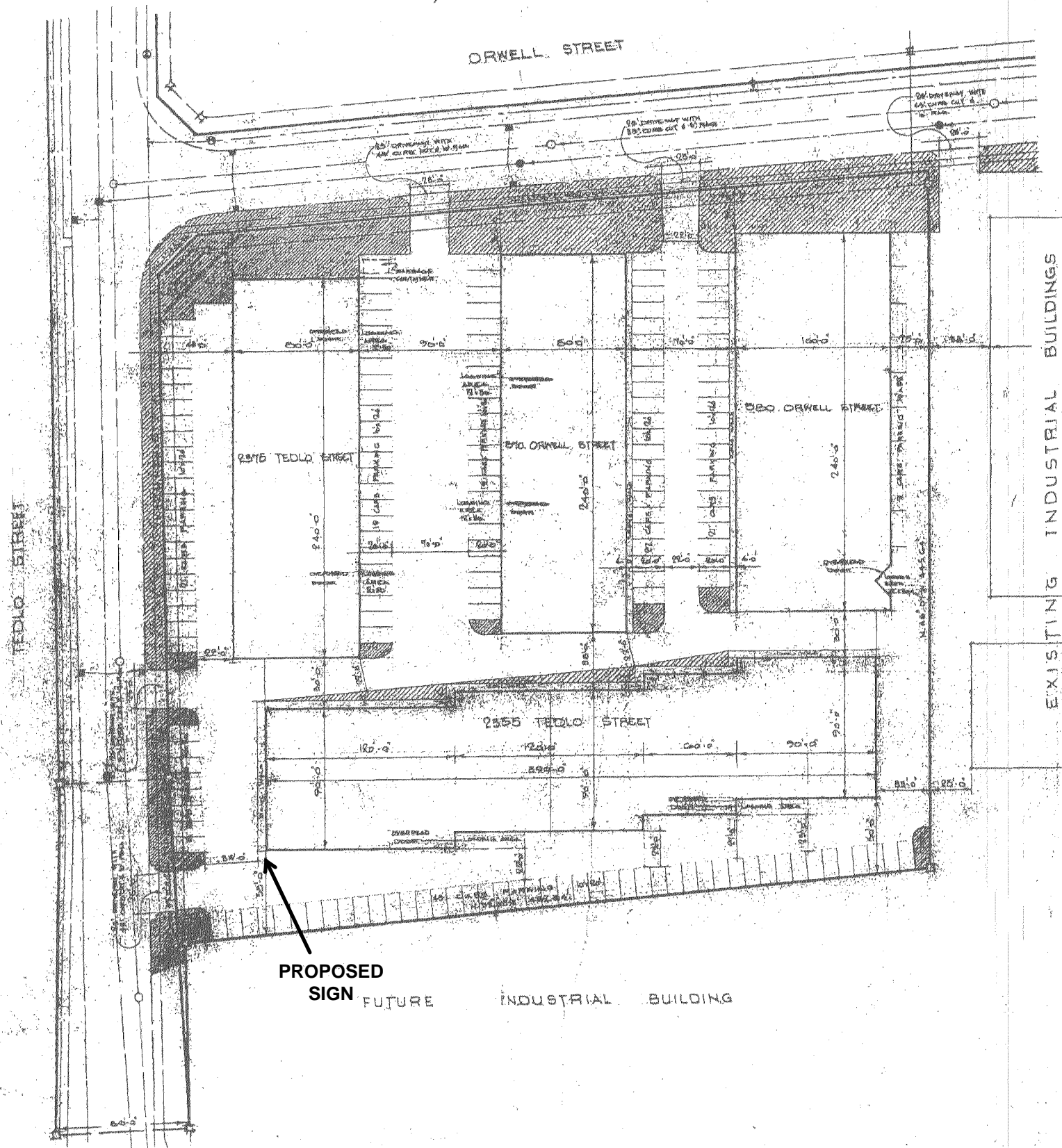
The shared driveway that serves this building and the properties to the south carries considerable truck traffic throughout the day. These trucks often block the visibility of the front wall and the primary sign. This secondary sign mounted above truck height contributes to public Safety by giving motorists advance notice that ambulances may be present at this location and will be entering traffic.

I trust that this brief memo explains the rationale that determined the proposed sign locations.

Sincerely,

  
Mei Yee Yeung, P.Eng.  
Capital Project Manager





4

# Peel Regional Paramedic Services

Paramedic Station No. 1  
2355 Tedlo St., Units 1 and 2



 Region of Peel  
*Working for you.*

## EXTERIOR SIGN NOTES:

## FABRICATION

1. SIGN FABRICATOR TO SUPPLY SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION OF SIGNS. SHOP DRAWINGS TO INCLUDE DETAILS OF PROPOSED MATERIALS AND PAINT.

2. GRAPHICS (AI OR EPS FILES) WILL BE SUPPLIED BY THE REGION OF PEEL.

3. SIGNS TO BE PAINTED ON METAL PLATE TO SIZES SHOWN. METAL TO BE PRIMED AND PAINTED IN ACCORDANCE WITH PAINT MANUFACTURER'S DIRECTIONS. PAINT TO BE COLOUR FAST AND WARRANTED FOR FIVE YEARS.

4. INSTALLATION HOLES TO BE PUNCHED PRIOR TO PAINTING AND ALL EDGES FINISHED. LOCATE HOLES TO AVOID ALL LETTERING.

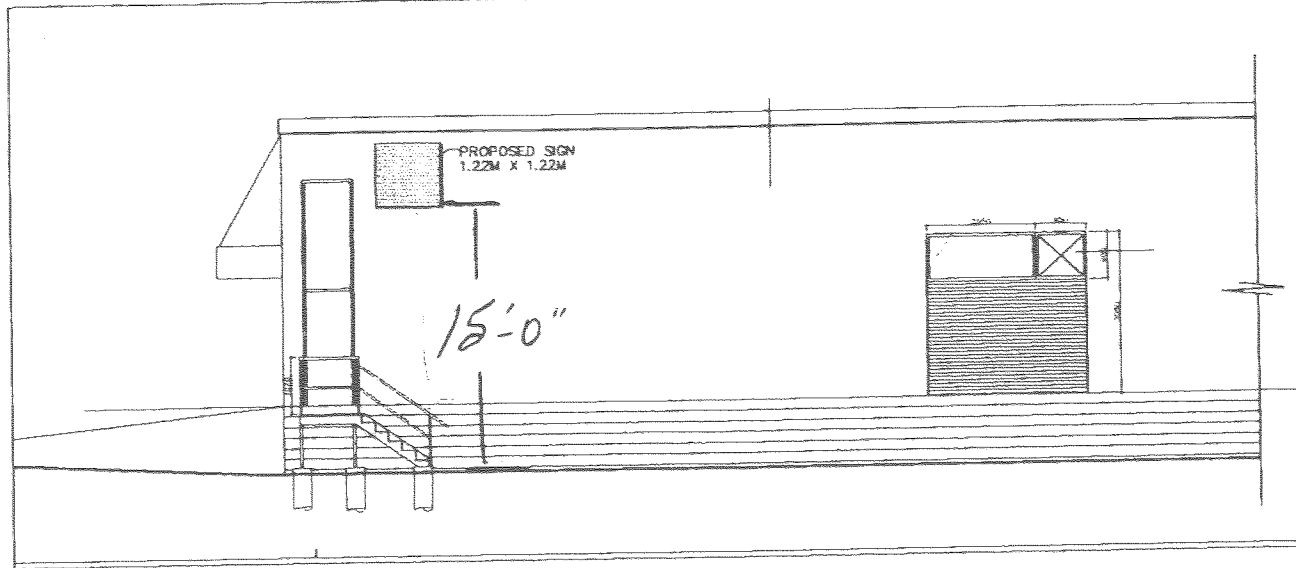
## INSTALLATION

1. THE 2 SIGNS TO BE INSTALLED BY CONTRACTOR IN LOCATIONS SHOWN

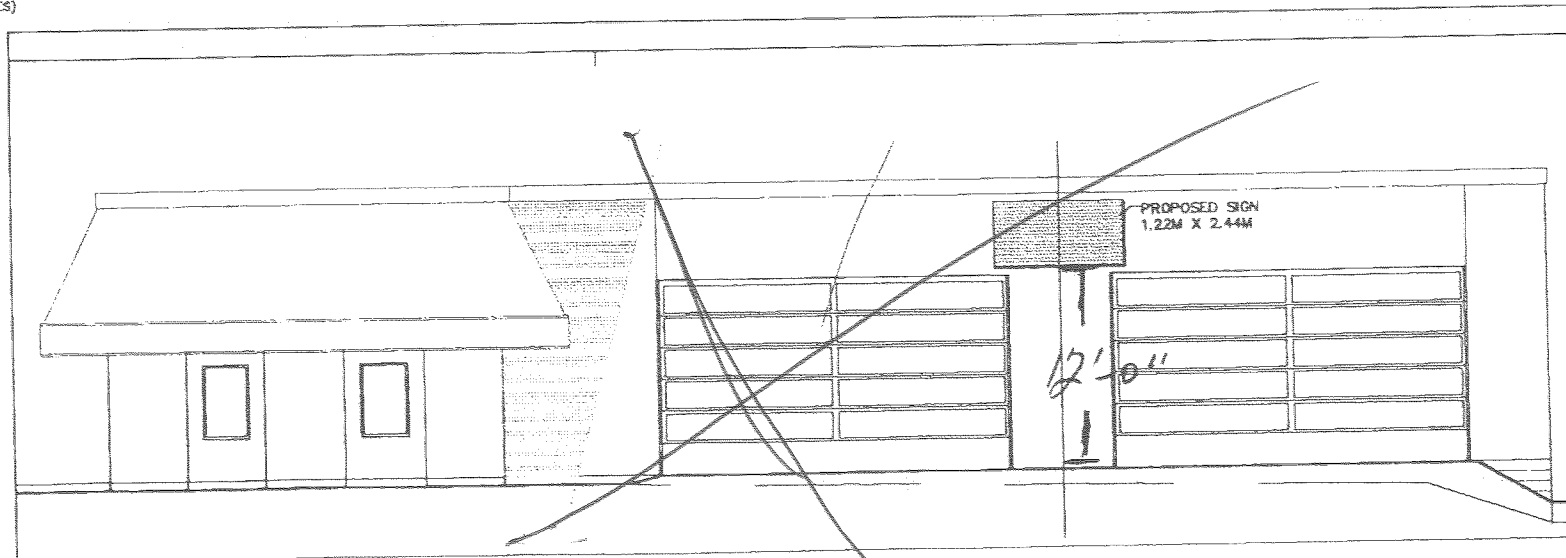
2. FASTEN TO MASONRY WITH 3/8" LEAD SHIELD TYPE ANCHORS MIN 100 DEPTH SPACED AT 450MM C.C. ALONG PERIMETER. USE GALV LAG BOLTS AND ZINC COATED WASHERS MIN 2" DIAM.

3. INSTALL 50MM (2") SPACERS. USE STEEL NUTS AND WASHERS (HIDDEN BY BLACK ABS PIPE) BEHIND SIGN TO SET THE SIGNS OFF THE WALL.

4. PAINT HEADS OF BOLTS AND WASHERS TO MATCH ADJACENT SIGN COLOUR (2 BLUE SHADES)



2 EAST ELEVATION  
SCALE 1/8" = 1'-0"



1 SOUTH ELEVATION  
SCALE 1/8" = 1'-0"

DATE	NO.	REVISION
01/17/2005	1	REVISED FOR PERMIT
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01/17/2005	3	REVISED FOR PERMIT
01/17/2005	4	REVISED FOR PERMIT
01/17/2005	5	REVISED FOR PERMIT
01/17/2005	6	REVISED FOR PERMIT
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PROJECT ARCHITECT  
AL TREGGORY ARCHITECT  
1100 SHEPPARD AVE. E. SUITE 100  
SCARBOROUGH, ON M1B 4Y6  
TEL: (416) 291-1111  
FAX: (416) 291-1112

CONSULTANTS  
STRUCTURAL & CIVIL ENGINEERING  
1100 SHEPPARD AVE. E. SUITE 100  
SCARBOROUGH, ON M1B 4Y6  
TEL: (416) 291-1111  
FAX: (416) 291-1112

PROJECT NAME  
PEEL REGION EMS  
2355 TEDLO ST  
MISSISSAUGA, ON

PROJECT NO.  
ELEVATIONS

DATE: 02 NOV 2005

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